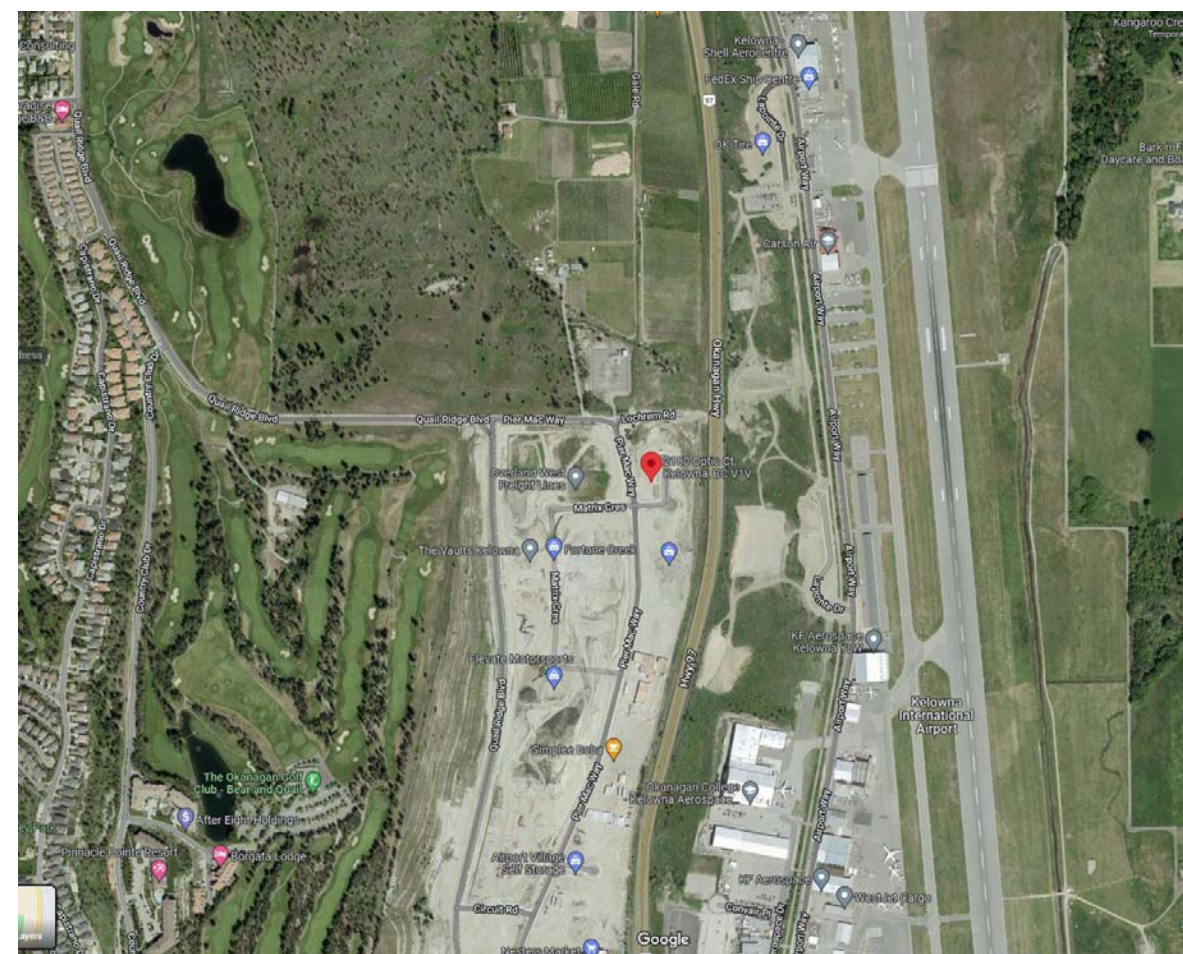




2180 OPTIC COURT

Development Permit Comment Response



1 location map
Ao.o

owner:
Derek Bosa, Brian Bosa
Aquila Investments (Optic) Inc.
4406 Norfolk St.
Burnaby, BC V5G 4J9

derek@aquiladevelopments.com
604 351 2004

landscape architect:
Lindsay Bourque, MBCSLA
Liminal Design
10-3620 Catherwood Rd.
Revelstoke, BC, VoE 2S3

lindsay@liminaldesigner.ca
250 683 9716

architect:
Heather L Johnston, architect AIBC
PLACE architect ltd
6262 St Georges Ave
West Vancouver, BC V7W 1Z7

heather@placearchitects.com
778 386 6769

structural engineer:
Steven Lerer
Bogdonov Lerer Engineering Inc
1177 W Broadway Suite 260,
Vancouver, BC V6H 1G3

steven@bogdonovlerer.com
604 731 9186

surveyor:
Bronwyn Denton, BCCLS, CLS, P.Eng
All Terra Land surveying ltd.
1315 St Paul St.
Kelowna, BC V1Y 2E2

bdenton@allterrasurvey.ca
250 762 0122

geotechnical engineer:
Michel (Mike) R. Laverdiere
Anthony Schaefer
Tetra Tech Engineering Practice
150, 1715 Dickson Ave.
Kelowna, B.C. V1Y 9G6

mike.laverdiere@tetratech.com
Anthony.Schaefer@tetratech.com
778 940 1219

energy advisor:
Hayley Shearer
Falcon Engineering
210-1715 Dickson Ave
Kelowna, BC V1Y 9G6

Hayley.Shearer@falcon.ca
250 762 9993

mechanical/electrical engineer:
James Kitella
Falcon Engineering
210-1715 Dickson Ave
Kelowna, BC V1Y 9G6

info@falcon.ca
250 762 9993

2 project contacts
Ao.o

- Ao.o project information
- Ao.1 site context images
- Ao.2 survey
- Ao.3 site plan, zoning notes
- Ao.4a perspective views
- Ao.4b perspective views
- Ao.9 building uses
- A2.1 building 1 level 1 proposed plan
- A2.2 building 1 level 2 proposed plan
- A2.3 building 2 level 1 proposed plan
- A2.4 building 2 level 2 proposed plan
- A3.1 building 1 elevations
- A3.2 building 2 elevations
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3 drawing index
Ao.o

2180 OPTIC COURT

2180 Optic Court
Kelowna, BC
Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-137

PROJECT # 2139

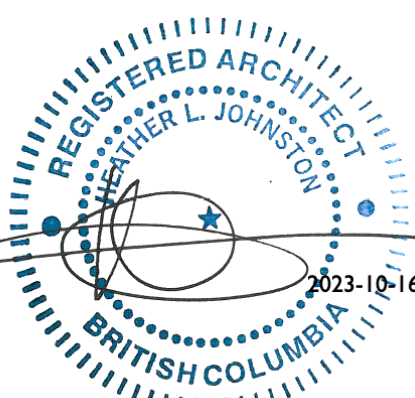
no.	date	issue
01	27 July 2023	development permit
02	6 Oct 2023	permit comment response

project information

heather l. johnston
architect AIBC, AAA, MAA, SAA

PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7

778 386 6769
www.placearchitects.com



Ao.o
6 oct 2023



east side looking north



east side looking south



north side looking south



northeast corner looking south



northeast corner looking southwest



northeast corner looking west



northwest corner looking south



southeast corner looking north



south looking north



southwest corner looking east



southwest corner looking north



2180 OPTIC COURT

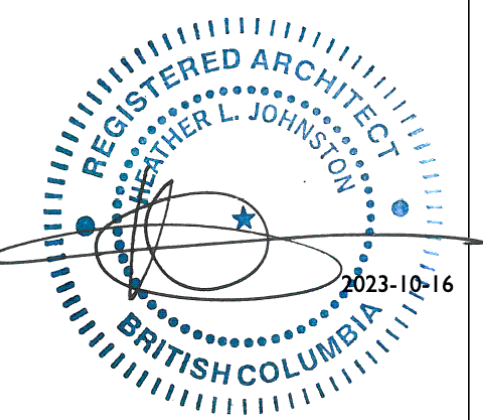
2180 Optic Court
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site context images

heather l. johnston
architect AIBC, AAA, MAA, SAA
PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
778 386 6769
www.placearchitects.com



Ao.1
6 Oct 2023

TOPOGRAPHIC SITE PLAN OF LOT 13, DISTRICT LOT 32, AND SECTION 14, TOWNSHIP 23, ODYD, PLAN EPP64961.

0 6 18 30
The intended plot size of this plan is 432mm in width by 560mm in height (C-size) when plotted at a scale of 1:300 METRIC.

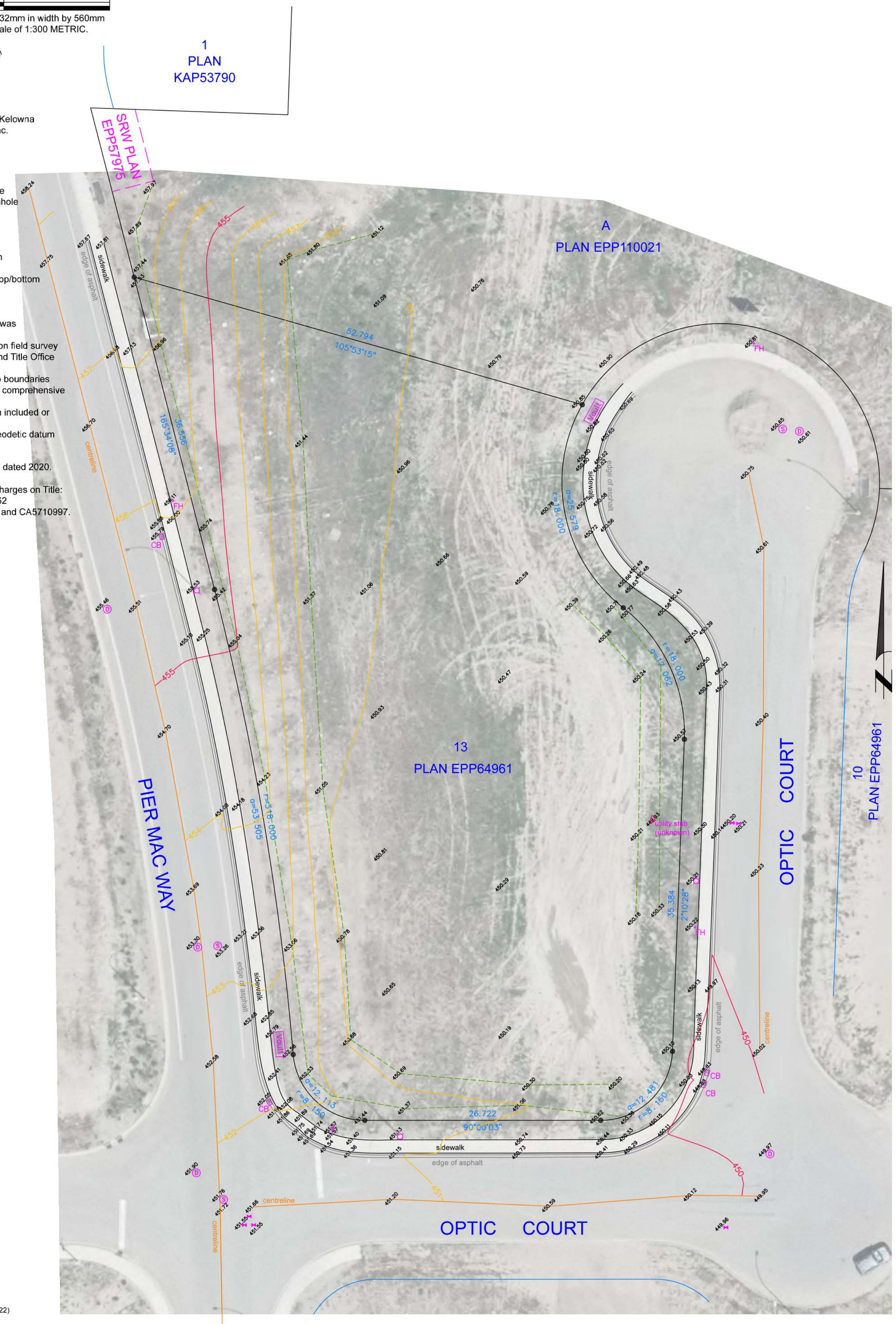
PID: 030-104-157
CIVIC ADDRESS: 2180 Optic Court, Kelowna
CLIENT: Aquila Investments (Optic) Inc.

LEGEND

- +FH Denotes fire hydrant
- ⊙ Denotes sanitary manhole
- ⊙ Denotes storm drain manhole
- ⊙ Denotes water valve
- CB Denotes catch basin
- ⊙ Denotes lamp standard
- ⊙ Denotes sign
- ⊙ Denotes ground elevation
- ⊙ Denotes Iron Post found
- Denotes grade break at top/bottom of banks

NOTES:

- The survey represented by this plan was conducted on January 18, 2022.
- Lot dimensions shown are based upon field survey measurements and may vary from Land Title Office records.
- Lot dimensions, areas, and offsets to boundaries shown may vary upon completion of a comprehensive legal survey.
- Unregistered interests have not been included or considered.
- Elevations shown are based upon geodetic datum (CVD28BC).
- Contour interval is 1.0m
- Aerial Imagery from City of Kelowna, dated 2020.
- Lot 13, Plan EPP64961 is subject to charges on Title:
 - Easements KN99500 and CA3213752
 - Statutory Rights of Way CA5249828 and CA5710997.



AllTerra
Land Surveying Ltd.
www.AllTerraSurvey.ca
Ph: 250.752.0122 File: 322003 (January 19, 2022)



2180 OPTIC COURT

2180 Optic Court
Kelowna, BC

Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-157

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survey

heather l. johnston
architect AIBC, AAA, MAA, SAA

PLACE architect Ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7

778 386 6769
www.placearchitects.com

PROJECT INFORMATION
 PROPERTY ADDRESS 2180 Optic Court, Kelowna, BC
 LEGAL DESCRIPTION Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
 P.I.D. 030-104-157
 APPLICABLE CODES 2018 BC Building Code, City of Kelowna Zoning Bylaw 12375
 ZONING I2 - General Industrial

ZONING BYLAW COMPLIANCE

SITE AREA: 0.988 acres (3998.3 m²; 43,037.3 ft²)
SITE COVERAGE (buildings): 41.2% (1647.7/3998.3)
SITE COVERAGE (total, includes hardscaping): 80.2% (3207.4/3998.3)
BUILDABLE AREA:
 Industrial allowable FAR 1.5 (150.0%) 1.482 acres (5997.4 m²; 64,555.5 ft²)
 proposed 55.6% 0.550 acres (2224.1 m²; 23,940.0 ft²)
BUILDING HEIGHT: Industrial lesser of 18.0m or 4 storeys
SETBACKS: Industrial
 FRONT YARD: 2.0m
 SIDE YARD: 2.0m (flanking sidestreet)
 SIDE YARD: 0.0m
 REAR YARD: 0.0m

OFFSTREET PARKING REQUIREMENTS

DESCRIPTION	REQUIREMENT:
Industrial Uses office	2.5 spaces per 100 m ² GFA maximum - 2.5 spaces per 100 m ² GFA (includes mezzanine area); plus 3.0 spaces per 100 m ² GFA for all floor area devoted to accessory activities such as any indoor display, office, administrative or technical support, or retail sale operations
Warehousing and Storage	1.0 space per 100 m ² GFA

Proposed Uses	area (m ²)	stalls required
Building 1 warehouse	873.94	
Building 1 office	266.57	
Building 2 warehouse	728.98	
Building 2 office	249.76	
Total	1602.92	1602.92/100 x 1.0 = 16.03
	516.33	516.33 / 100 x 2.5 = 12.91

Building Areas	ground floor area	second floor area	total
Office	0 m ²	516.33 m ²	516.33 m ²
Industrial	1552.68 m ²	50.23 m ²	1602.91 m ²
Gross Floor Area			2119.24 m²
office percentage	516.33/2119.24 = 24.36%		

Total Parking Stalls Required 29 Stalls
Total Parking Stalls Proposed 29 Stalls (including 1 accessible)

OFFSTREET LOADING REQUIREMENTS

Industrial Uses: 1.0 space per 1900 sqm GFA
Total Loading Stalls Required 1 Stalls
Total Loading Stalls Proposed 1 Stalls

OFFSTREET ACCESSIBLE PARKING SPACE REQUIREMENTS

5-36 Parking spaces 1.0 space
Total accessible Stalls Required 1 Stalls
Total accessible Stalls Proposed 1 Stalls

BICYCLE PARKING REQUIREMENTS

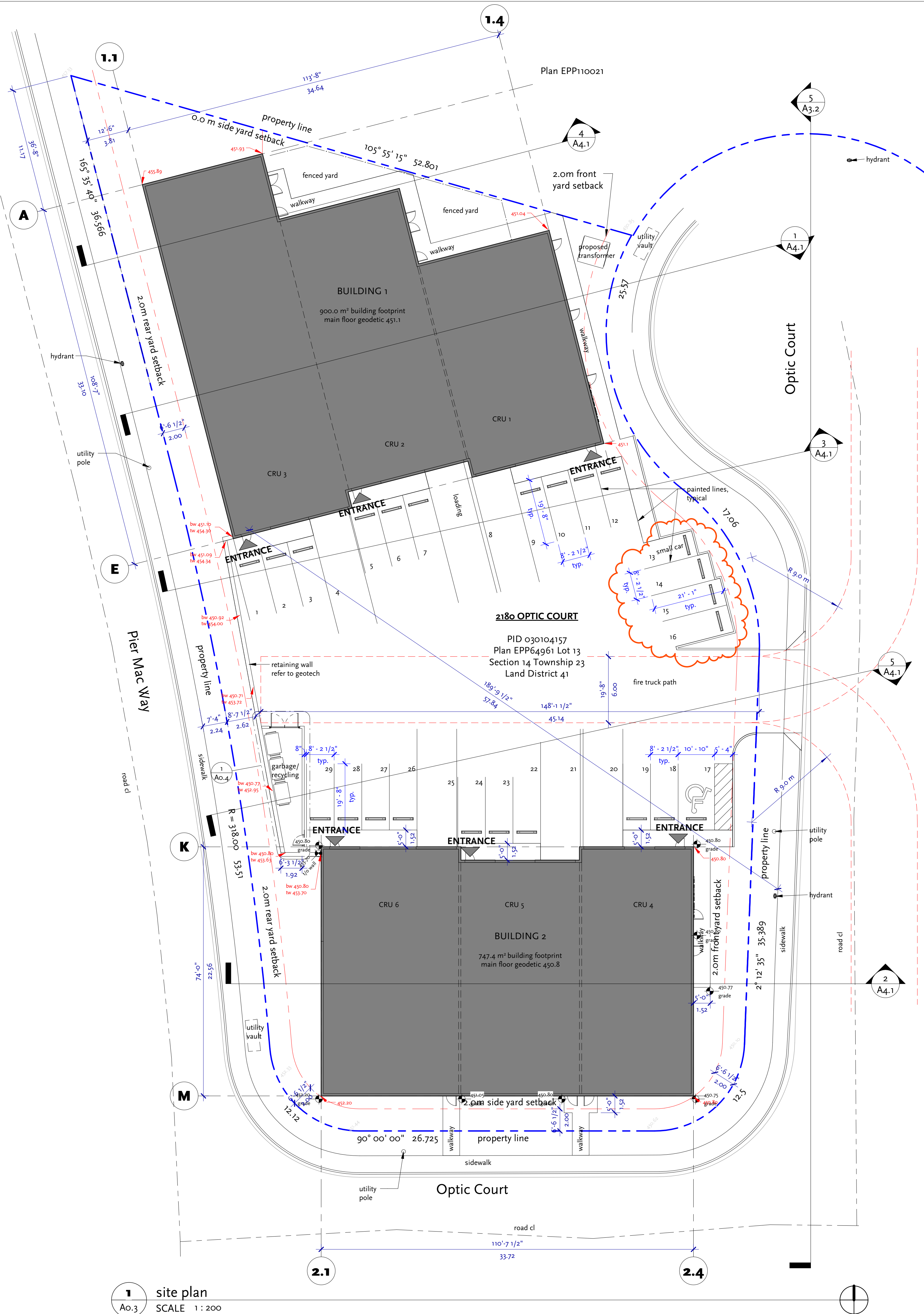
Industrial Uses long-term 0.05 per 100 sqm GFA 2036.4/100 x 0.05 = 1.02
 short-term no requirement

Design Rationale

Accessed via Optic Court the proposed two office warehouse buildings bookend a central parking courtyard. The buildings will provide office/warehouse space for commercial tenant(s) with warehouse manufacturing/storage with some offices and a mezzanine space.

The 30ft / 9m tall buildings will be of concrete construction with a combination of punched windows and storefront glazing. Exterior colour banding and vertical ribbing provide detailing to the building facade. Metal sunshades above the upper windows and canopies above the entrances will accent the openings and limit the solar gain to the spaces.

The west side of the parking area will have a retaining wall with plantings above. The remainder of the site will be landscaped as required by the City of Kelowna bylaws.



1 site plan
 Ao.3 SCALE 1 : 200



2180 OPTIC COURT

2180 Optic Court
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site plan, zoning notes

heather l. johnston
 architect AIBC, AAA, MAA, SAA
 PLACE architect ltd.
 6262 st georges avenue
 west vancouver bc, v7w 1z7
 778 386 6769
 www.placearchitects.com



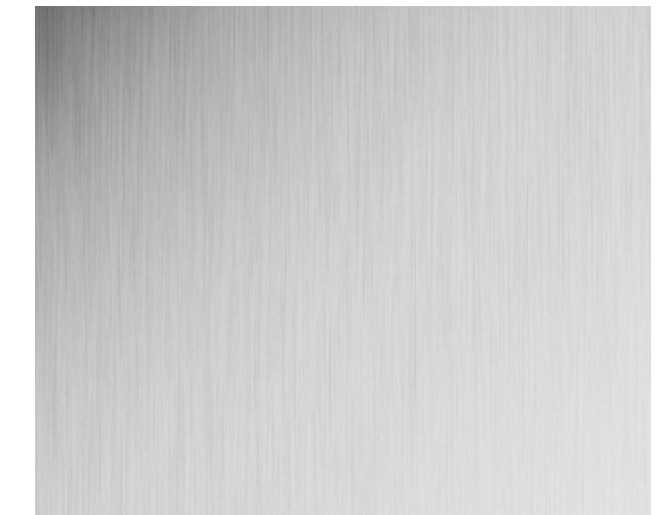
building 1 - hillside view



building 1 - entry (optic ct) view



aluminum frame - clear anodized



concrete - textured natural finish w/ sealer



earth tone color palette



#9D9E84
RGB 152, 158, 132

#5F6063
RGB 95, 96, 99

#FA7F70
RGB 250, 242, 240

PLACE

2180 OPTIC COURT

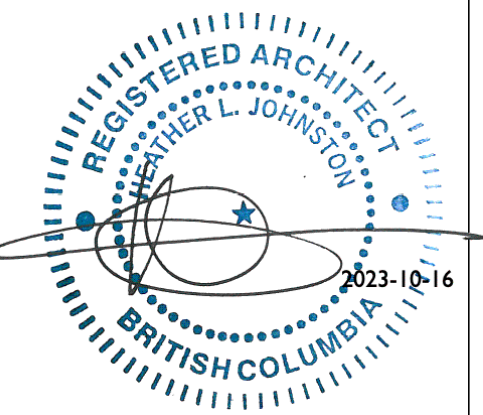
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030-104-137

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perspective views

heather l. johnston
architect AIBC, AAA, MAA, SAA
PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
778 386 6769
www.placearchitects.com





building 2 - entry (optic ct) view



building 2 - hillside view



glazing - clear



aluminum frame - clear anodized



concrete - textured natural finish w/ sealer



earth tone color palette

#9D9E84 RGB 152, 158, 132
 #5F6063 RGB 95, 96, 99
 #FA7F70 RGB 250, 242, 240

PLACE

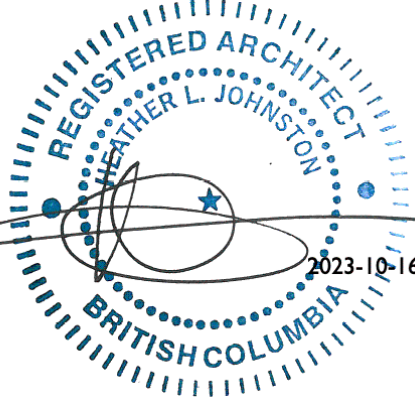
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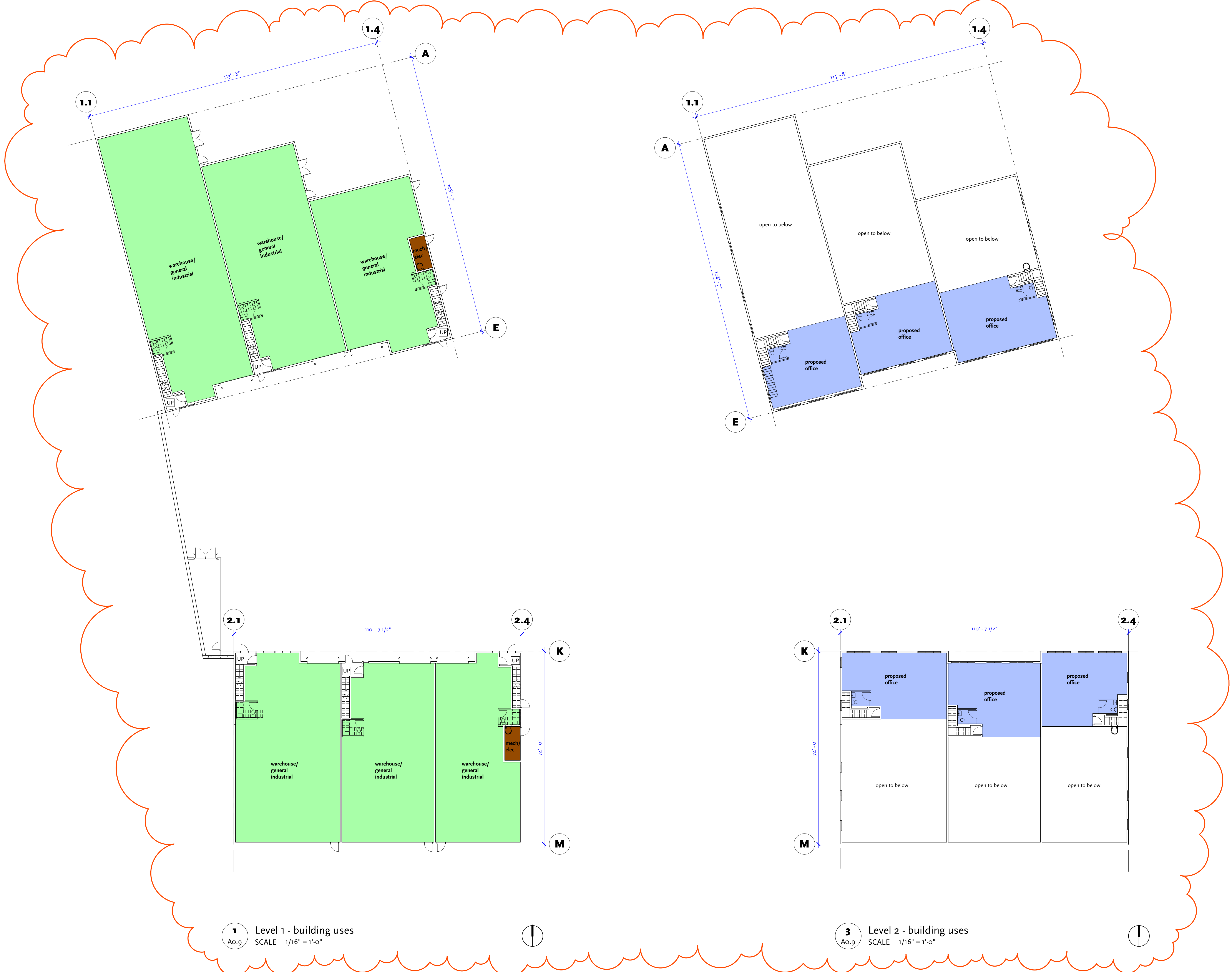
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perspective views

heather l. johnston
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 PLACE architect ltd.
 6262 st georges avenue
 west vancouver bc, v7w 1z7
 778 386 6769
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1 Level 1 - building uses
 Ao.9 SCALE 1/16" = 1'-0"

3 Level 2 - building uses
 Ao.9 SCALE 1/16" = 1'-0"



2180 OPTIC COURT

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 Kelowna, BC

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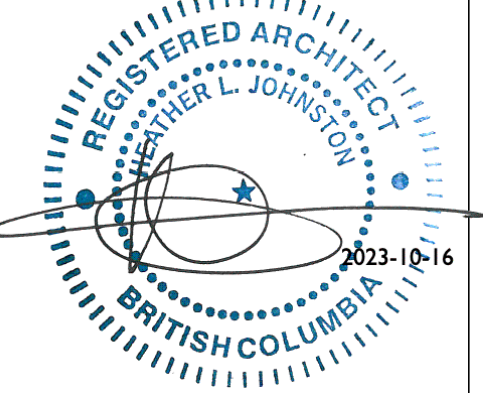
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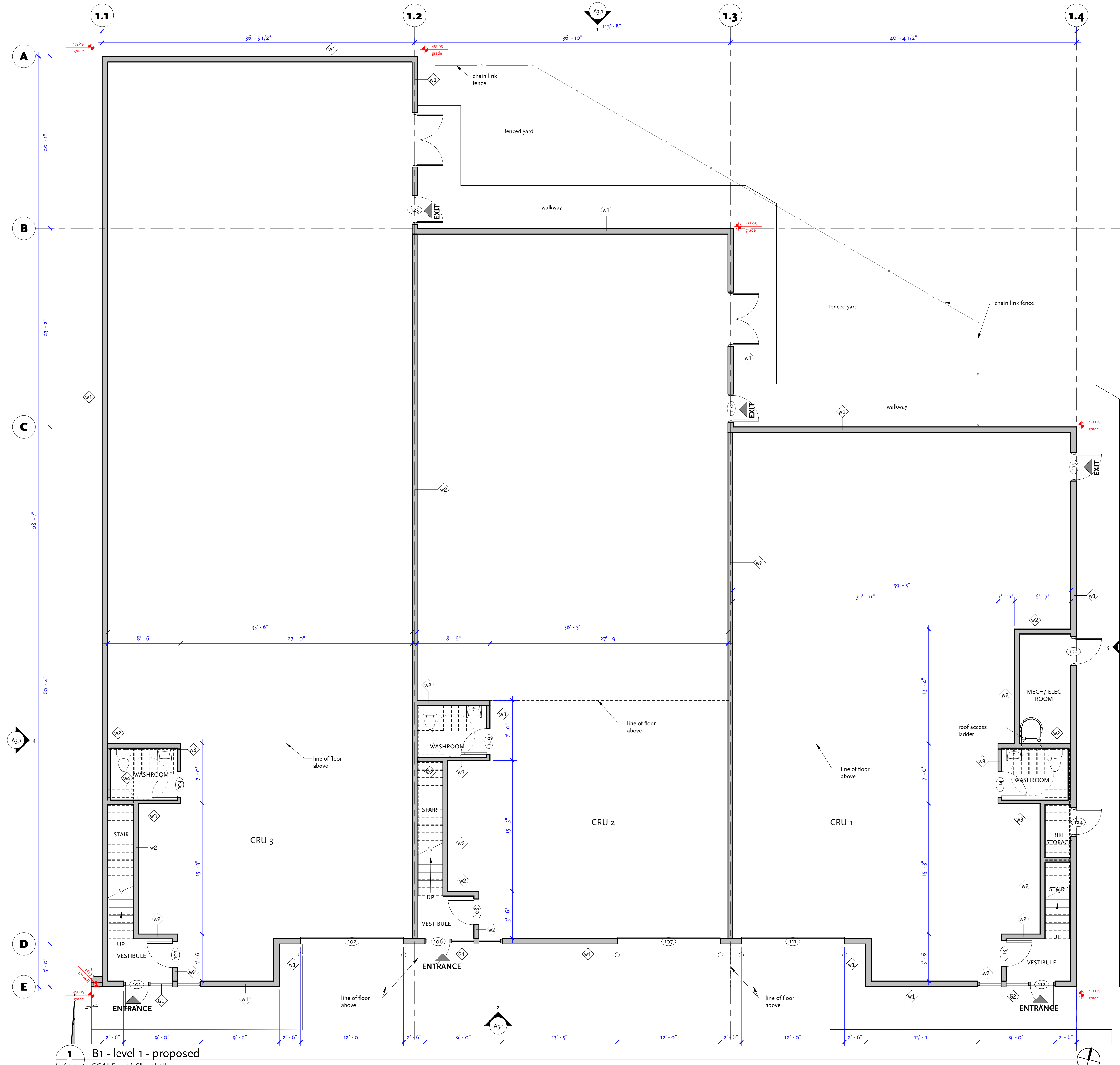
building uses

heather l. johnston
 architect AIBC, AAA, MAA, SAA
 PLACE architect ltd.
 6262 st georges avenue
 west vancouver bc, v7w 1z7
 778 386 6769
 www.placearchitects.com

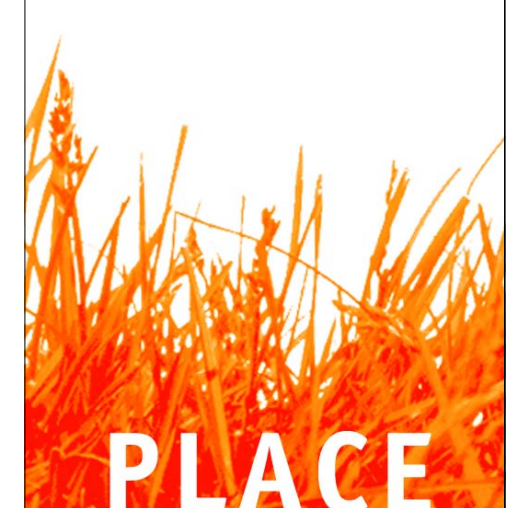


Ao.9
 6 oct 2023

2023/10/13 10:07:07 PM



Name	Area (metric)	Area (imperial)
Room	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
building 1		
maintenance room	Not Placed	
	0.00 m ²	0.00 ft ²
mech/elec	7.11 m ²	76.48 ft ²
bike storage	1.71 m ²	18.44 ft ²
	8.82 m ²	94.92 ft ²
	8.82 m ²	94.92 ft ²
unit 1		
warehouse	203.94 m ²	2195.20 ft ²
lobby	3.45 m ²	37.09 ft ²
stair	2.50 m ²	26.94 ft ²
w/c	4.37 m ²	47.07 ft ²
	214.26 m ²	2306.30 ft ²
stair	5.56 m ²	59.85 ft ²
office	90.06 m ²	969.35 ft ²
w/c	3.25 m ²	34.96 ft ²
	98.86 m ²	1064.15 ft ²
	313.13 m ²	3370.45 ft ²
unit 2		
warehouse	262.43 m ²	2824.74 ft ²
lobby	3.58 m ²	38.58 ft ²
stair	3.81 m ²	41.01 ft ²
w/c	4.56 m ²	49.09 ft ²
	274.38 m ²	2953.41 ft ²
stair	5.61 m ²	60.42 ft ²
office	81.82 m ²	880.66 ft ²
w/c	3.26 m ²	35.06 ft ²
	90.69 m ²	976.13 ft ²
	365.07 m ²	3929.54 ft ²
unit 3		
warehouse	331.36 m ²	3566.70 ft ²
lobby	3.91 m ²	42.08 ft ²
stair	3.90 m ²	42.00 ft ²
w/c	4.37 m ²	47.07 ft ²
	343.54 m ²	3697.86 ft ²
office	81.56 m ²	877.92 ft ²
w/c	3.26 m ²	35.06 ft ²
stair	5.57 m ²	59.92 ft ²
	90.38 m ²	972.90 ft ²
	433.93 m ²	4670.75 ft ²



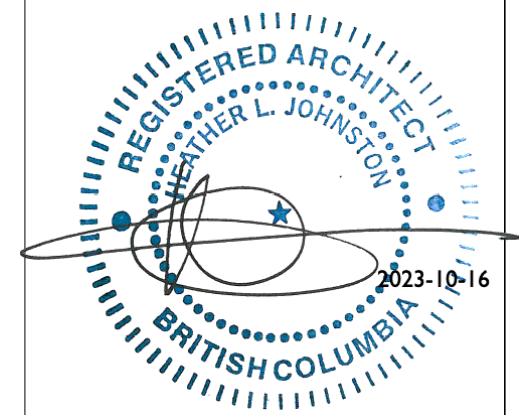
2180 OPTIC COURT
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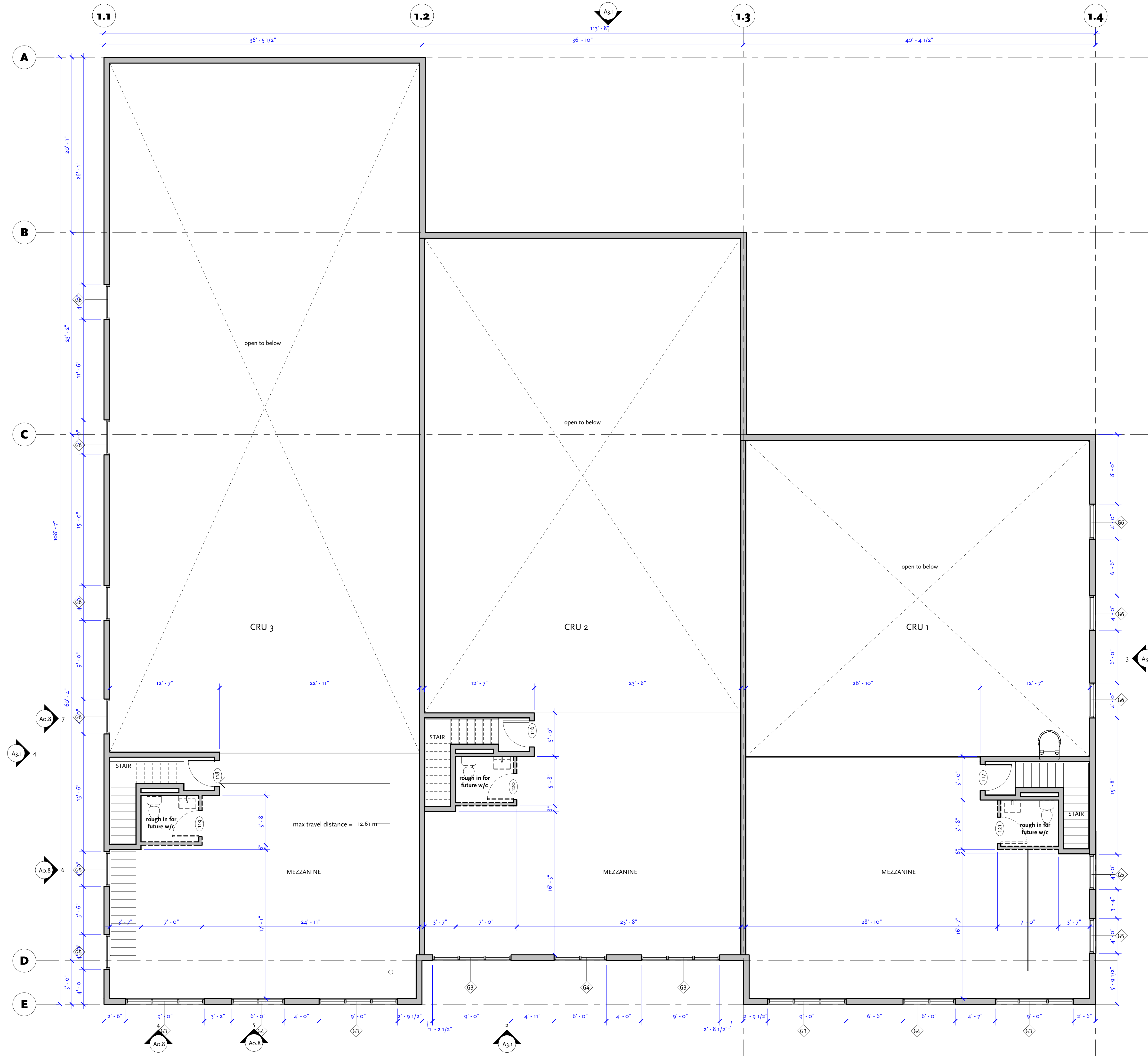
building 1 level 1
 proposed plan

heather l. johnston
 architect AIBC, AAA, MAA, SAA
 PLACE architect ltd.
 6262 st georges avenue
 west vancouver bc, v7w 1z7
 778 386 6769
 www.placearchitects.com

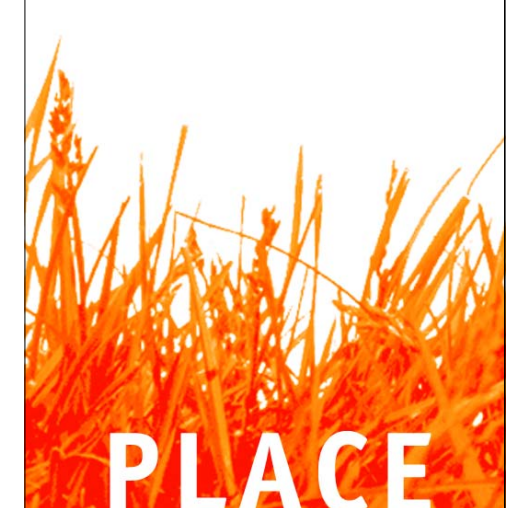


A2.1
 6 oct 2023

1 B1 - level 1 - proposed
 SCALE 3/16" = 1'-0"



Name	Area (metric)	Area (imperial)
Room	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
building 1		
maintenance room	Not Placed	
	0.00 m ²	0.00 ft ²
mech/elec	7.11 m ²	76.48 ft ²
bike storage	1.71 m ²	18.44 ft ²
	8.82 m ²	94.92 ft ²
	8.82 m ²	94.92 ft ²
unit 1		
warehouse	203.94 m ²	2195.20 ft ²
lobby	3.45 m ²	37.09 ft ²
stair	2.50 m ²	26.94 ft ²
w/c	4.37 m ²	47.07 ft ²
	214.26 m ²	2306.30 ft ²
stair	5.56 m ²	59.85 ft ²
office	90.06 m ²	969.35 ft ²
w/c	3.25 m ²	34.96 ft ²
	98.86 m ²	1064.15 ft ²
	313.13 m ²	3370.45 ft ²
unit 2		
warehouse	262.43 m ²	2824.74 ft ²
lobby	3.58 m ²	38.58 ft ²
stair	3.81 m ²	41.01 ft ²
w/c	4.56 m ²	49.09 ft ²
	274.38 m ²	2953.41 ft ²
stair	5.61 m ²	60.42 ft ²
office	81.82 m ²	880.66 ft ²
w/c	3.26 m ²	35.06 ft ²
	90.69 m ²	976.13 ft ²
	365.07 m ²	3929.54 ft ²
unit 3		
warehouse	331.36 m ²	3566.70 ft ²
lobby	3.91 m ²	42.08 ft ²
stair	3.90 m ²	42.00 ft ²
w/c	4.37 m ²	47.07 ft ²
	343.54 m ²	3697.86 ft ²
office	81.56 m ²	877.92 ft ²
w/c	3.26 m ²	35.06 ft ²
stair	5.57 m ²	59.92 ft ²
	90.38 m ²	972.90 ft ²
	433.93 m ²	4670.75 ft ²



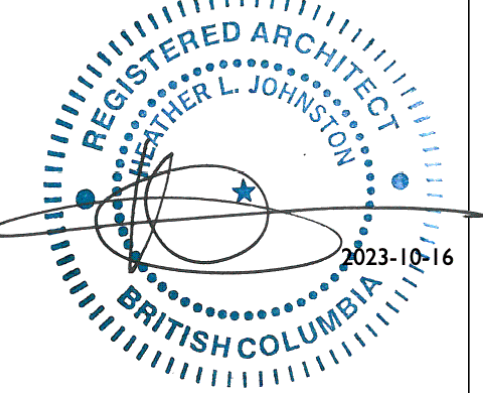
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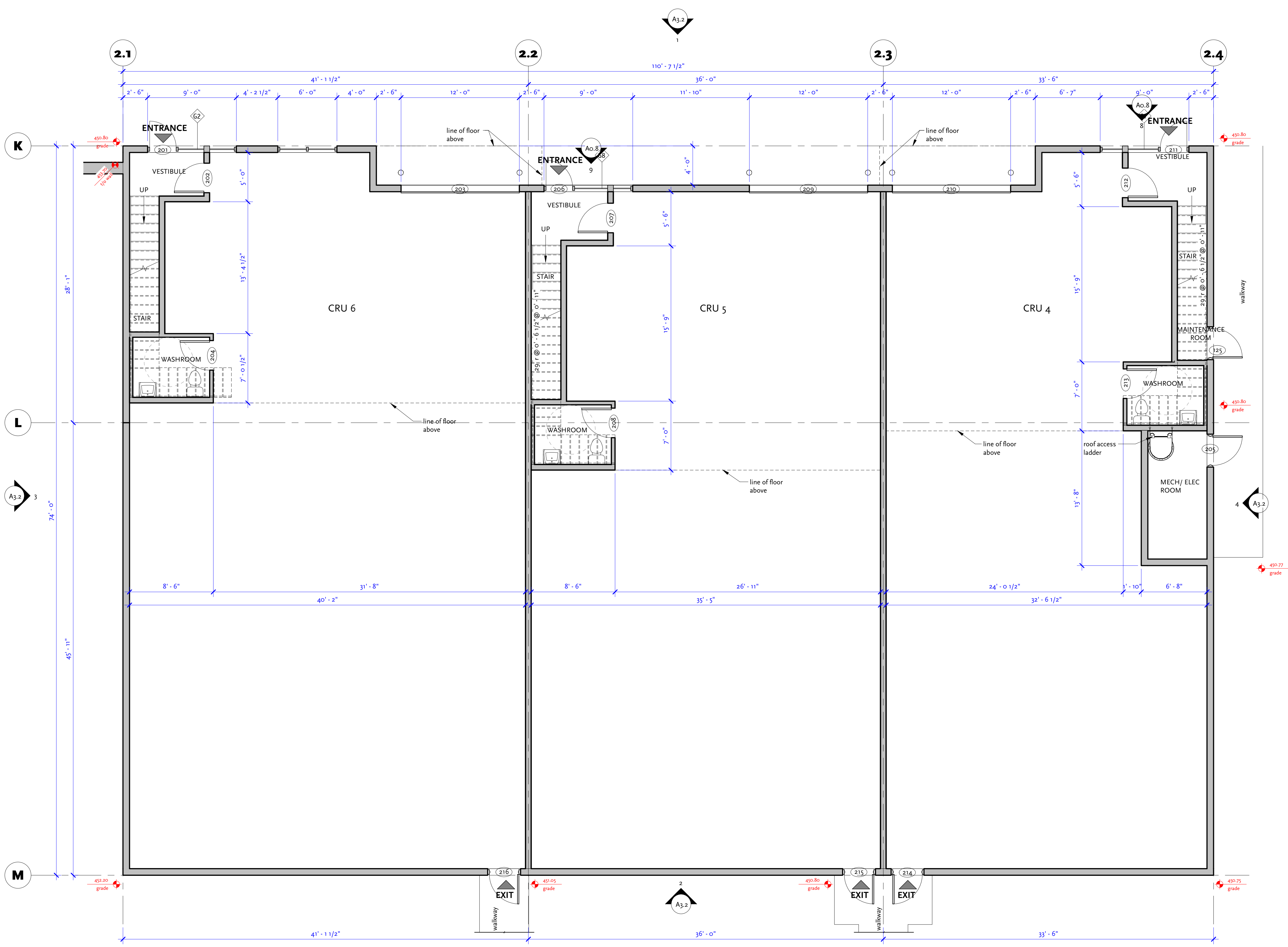
building 1 level 2
 proposed plan

heather l johnston
 architect AIBC, AAA, MAA, SAA
 PLACE architect ltd.
 6262 st georges avenue
 west vancouver bc, v7w 1z7
 778 386 6769
 www.placearchitects.com



A2.2
 6 oct 2023

1 B1 - level 2 - proposed
 A2.2 SCALE 3/16" = 1'-0"



Name	Area (metric)	Area (imperial)
Room	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
building 2		
mech/elec	7.25 m ²	78.00 ft ²
	7.25 m ²	78.00 ft ²
	7.25 m ²	78.00 ft ²
unit 4		
warehouse	190.23 m ²	2047.60 ft ²
lobby	3.81 m ²	40.98 ft ²
stair	1.83 m ²	19.75 ft ²
w/c	4.37 m ²	47.07 ft ²
	200.24 m ²	2155.40 ft ²
stair	6.12 m ²	65.93 ft ²
office	72.88 m ²	784.51 ft ²
w/c	3.65 m ²	39.34 ft ²
	82.66 m ²	889.77 ft ²
	282.91 m ²	3045.17 ft ²
unit 5		
warehouse	210.97 m ²	2270.91 ft ²
lobby	3.69 m ²	39.75 ft ²
stair	4.37 m ²	47.00 ft ²
w/c	4.37 m ²	47.07 ft ²
	223.41 m ²	2404.74 ft ²
stair	6.05 m ²	65.08 ft ²
office	80.34 m ²	864.75 ft ²
w/c	3.67 m ²	39.48 ft ²
	90.05 m ²	969.32 ft ²
	313.46 m ²	3374.05 ft ²
unit 6		
stair	3.70 m ²	39.87 ft ²
warehouse	251.50 m ²	2707.14 ft ²
lobby	3.25 m ²	34.95 ft ²
w/c	4.40 m ²	47.40 ft ²
	262.86 m ²	2829.37 ft ²
stair	6.18 m ²	66.52 ft ²
office	81.92 m ²	881.76 ft ²
WC	3.64 m ²	39.23 ft ²
	91.74 m ²	987.51 ft ²
	354.60 m ²	3816.89 ft ²

1 B2 - level 1 - proposed
SCALE 3/16" = 1'-0"



2180 OPTIC COURT

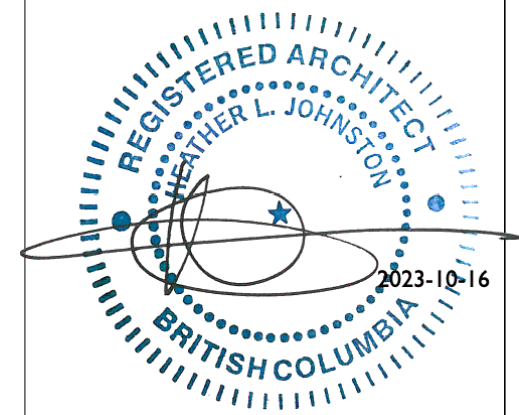
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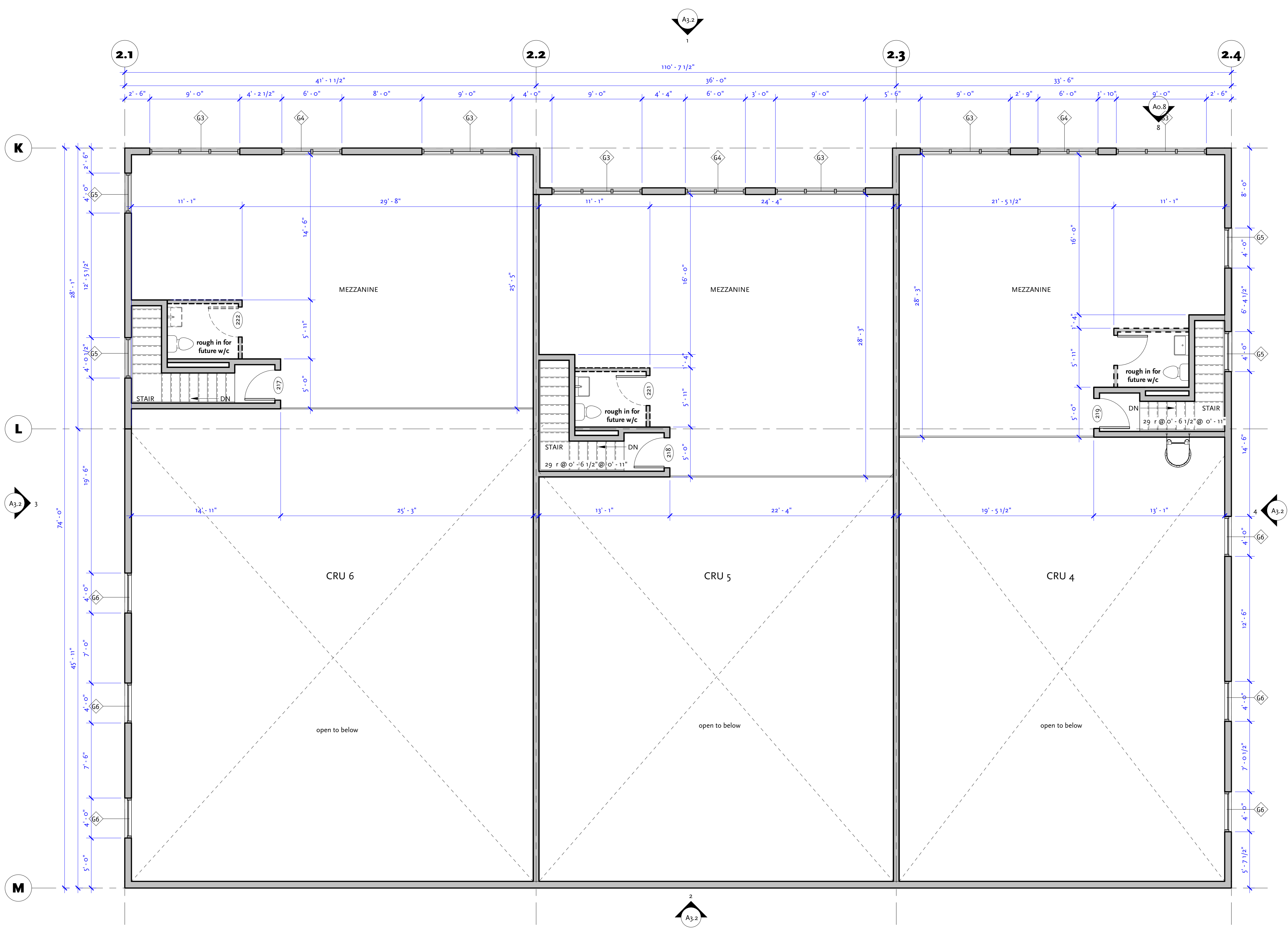
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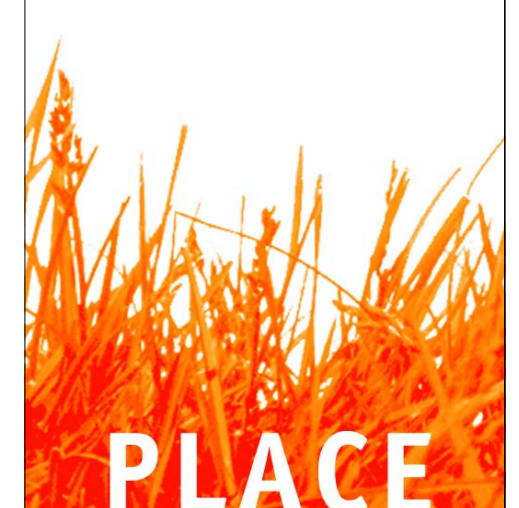
**building 2 level 1
proposed plan**

heather l. johnston
architect AIBC, AAA, MAA, SAA
PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
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Name	Area (metric)	Area (imperial)
Room	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
	2.43 m ²	26.13 ft ²
building 2		
mech/elec	7.25 m ²	78.00 ft ²
	7.25 m ²	78.00 ft ²
	7.25 m ²	78.00 ft ²
unit 4		
warehouse	190.23 m ²	2047.60 ft ²
lobby	3.81 m ²	40.98 ft ²
stair	1.83 m ²	19.75 ft ²
w/c	4.37 m ²	47.07 ft ²
	200.24 m ²	2155.40 ft ²
stair	6.12 m ²	65.93 ft ²
office	72.88 m ²	784.51 ft ²
w/c	3.65 m ²	39.34 ft ²
	82.66 m ²	889.77 ft ²
	282.91 m ²	3045.17 ft ²
unit 5		
warehouse	210.97 m ²	2270.91 ft ²
lobby	3.69 m ²	39.75 ft ²
stair	4.37 m ²	47.00 ft ²
w/c	4.37 m ²	47.07 ft ²
	223.41 m ²	2404.74 ft ²
stair	6.05 m ²	65.08 ft ²
office	80.34 m ²	864.75 ft ²
w/c	3.67 m ²	39.48 ft ²
	90.05 m ²	969.32 ft ²
	313.46 m ²	3374.05 ft ²
unit 6		
stair	3.70 m ²	39.87 ft ²
warehouse	251.50 m ²	2707.14 ft ²
lobby	3.25 m ²	34.95 ft ²
w/c	4.40 m ²	47.40 ft ²
	262.86 m ²	2829.37 ft ²
stair	6.18 m ²	66.52 ft ²
office	81.92 m ²	881.76 ft ²
WC	3.64 m ²	39.23 ft ²
	91.74 m ²	987.51 ft ²
	354.60 m ²	3816.89 ft ²



2180 OPTIC COURT

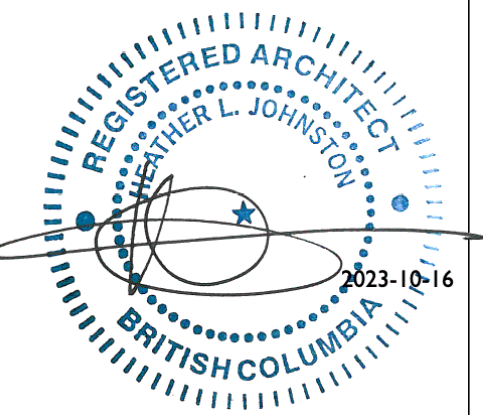
2180 Optic Court
Kelowna, BC

Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-157

no.	date	issue
01	27 July 2023	development permit
02	6 Oct 2023	permit comment response

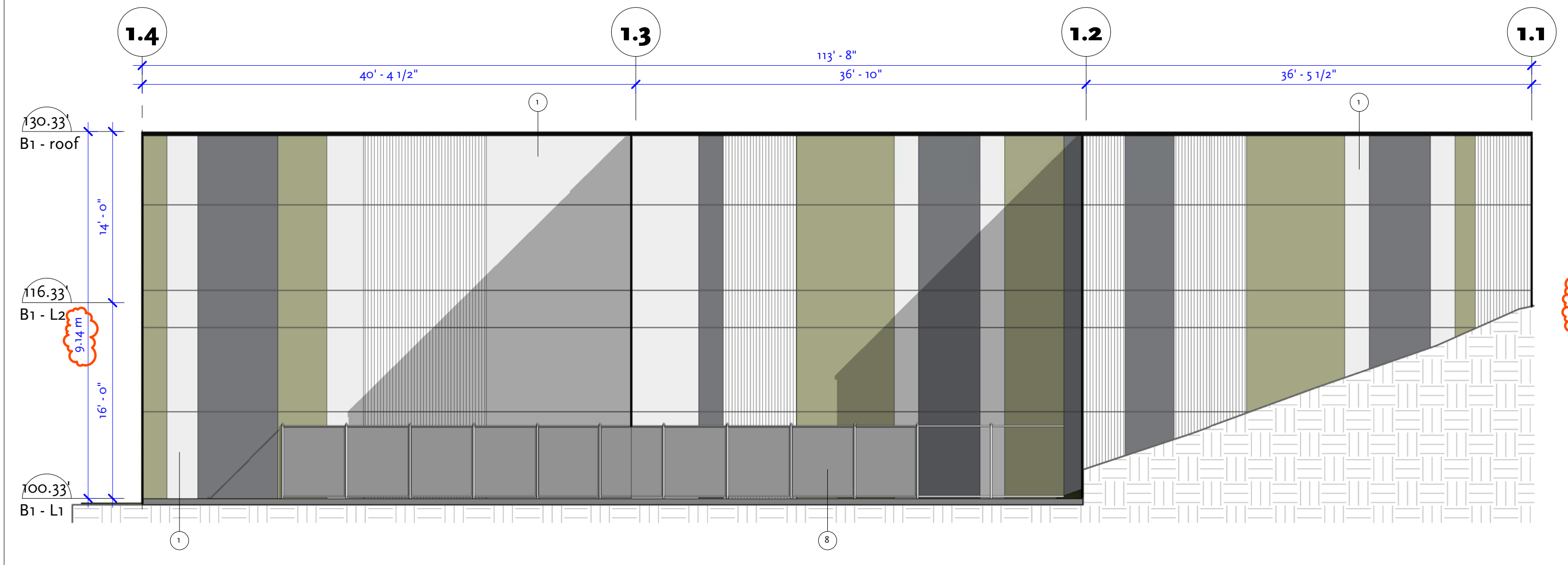
building 2 level 2 proposed plan

heather l. johnston
architect AIBC, AAA, MAA, SAA
PLACE architect Ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
778 386 6769
www.placearchitects.com

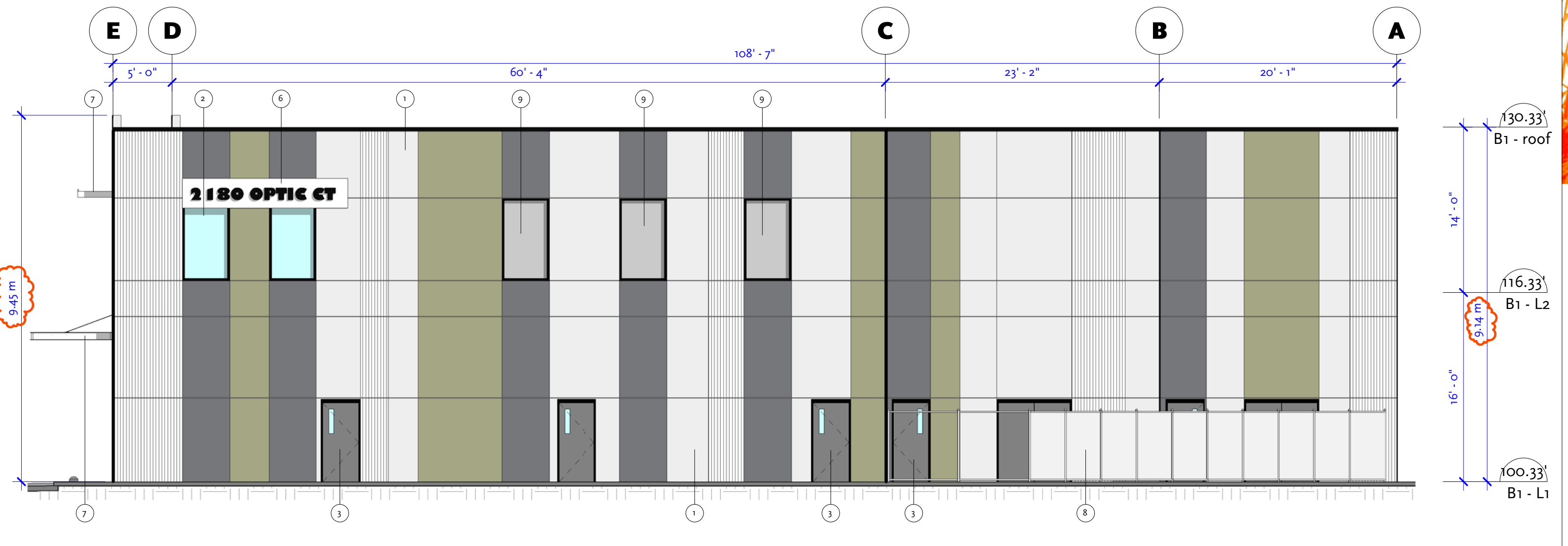


1 B2 - level 2 - proposed
SCALE 3/16" = 1'-0"

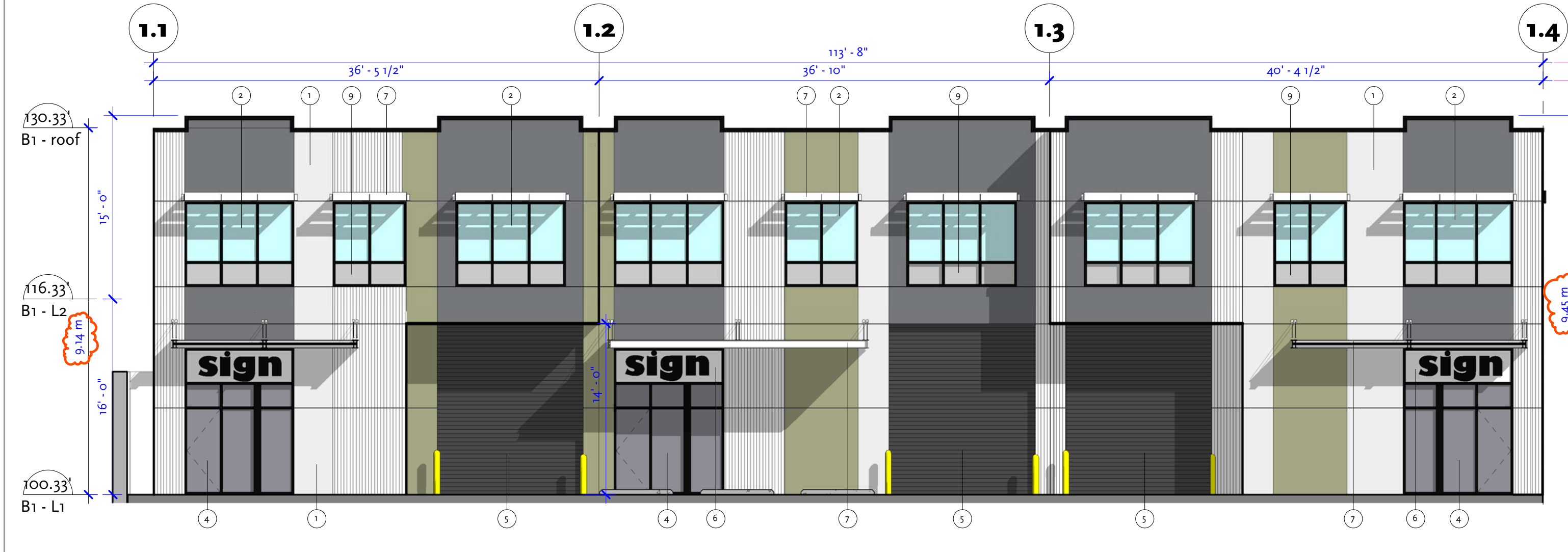
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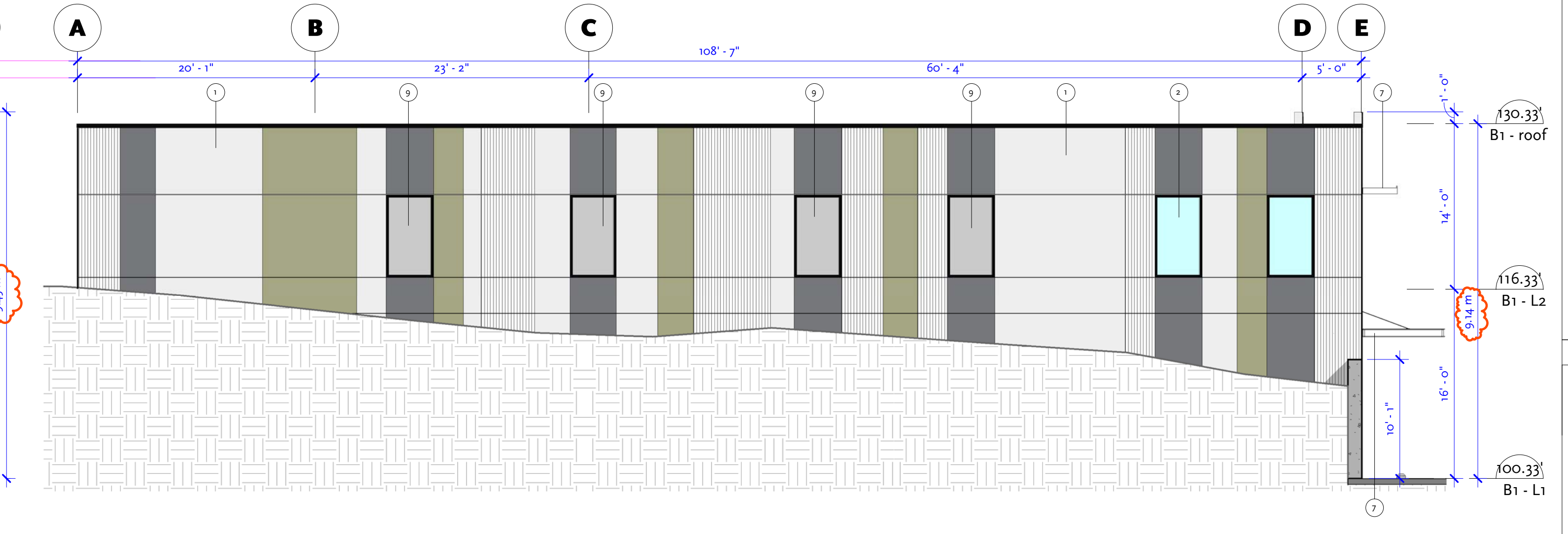
1 B1 - north elevation
A3.1 SCALE 1/8" = 1'-0"



3 B1 - east elevation
A3.1 SCALE 1/8" = 1'-0"

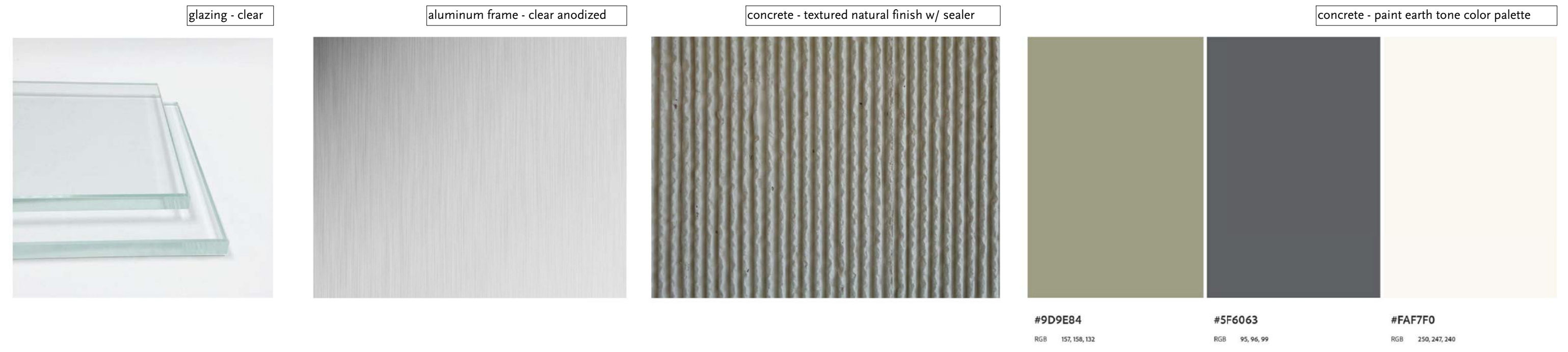


2 B1 - south elevation
A3.1 SCALE 1/8" = 1'-0"



4 B1 - west elevation
A3.1 SCALE 1/8" = 1'-0"

TAG	MATERIAL
1	precast concrete panel (texture and colour as per elevations)
2	prefinished aluminum window (low E, clear glazing)
3	exterior metal door (painted)
4	prefinished aluminum storefront glazing (low E, clear glazing) c/w door
5	overhead door (painted)
6	building signage
7	metal canopy/ metal sunshade
8	chain link fence
9	spandrel panel (colour TBD)



2180 OPTIC COURT

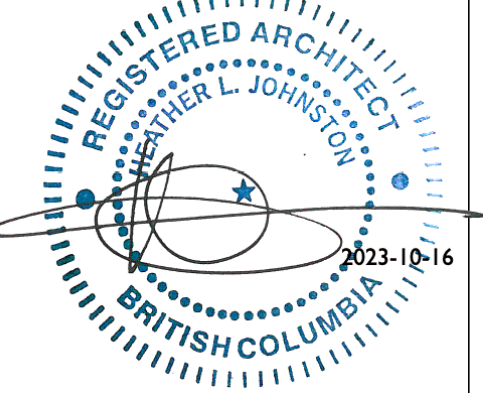
2180 Optic Court
Kelowna, BC
Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-137

PROJECT # 2139

no.	date	issue
01	27 July 2023	development permit
02	6 Oct 2023	permit comment response

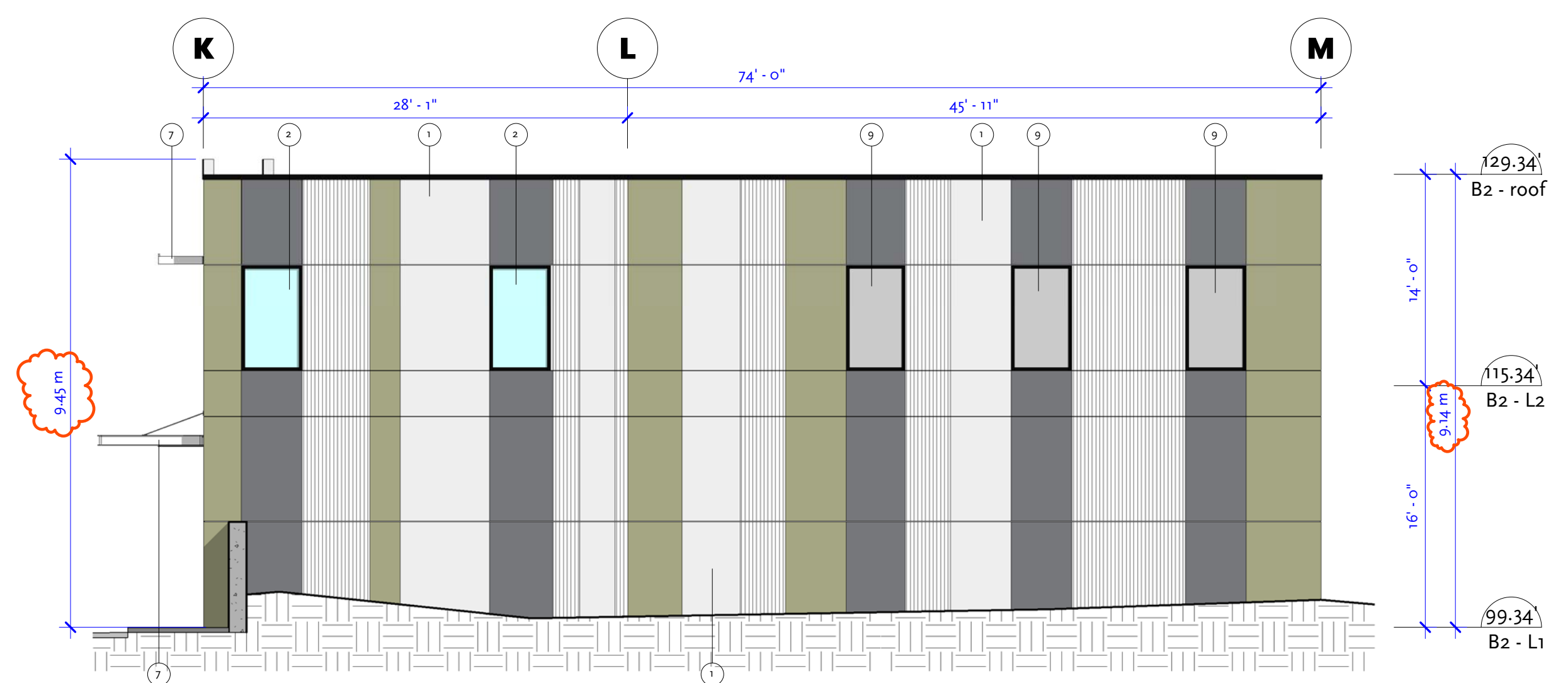
building 1 elevations

heather l johnston
architect AIBC, AAA, MAA, SAA
PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
778 386 6769
www.placearchitects.com

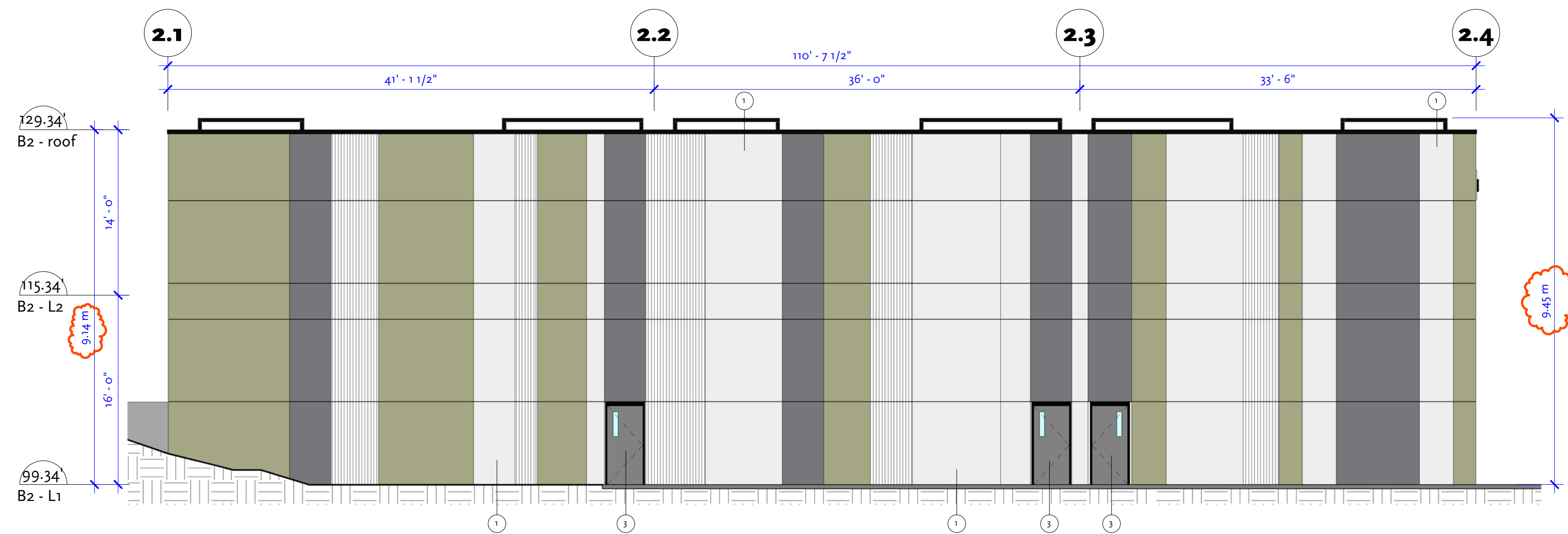




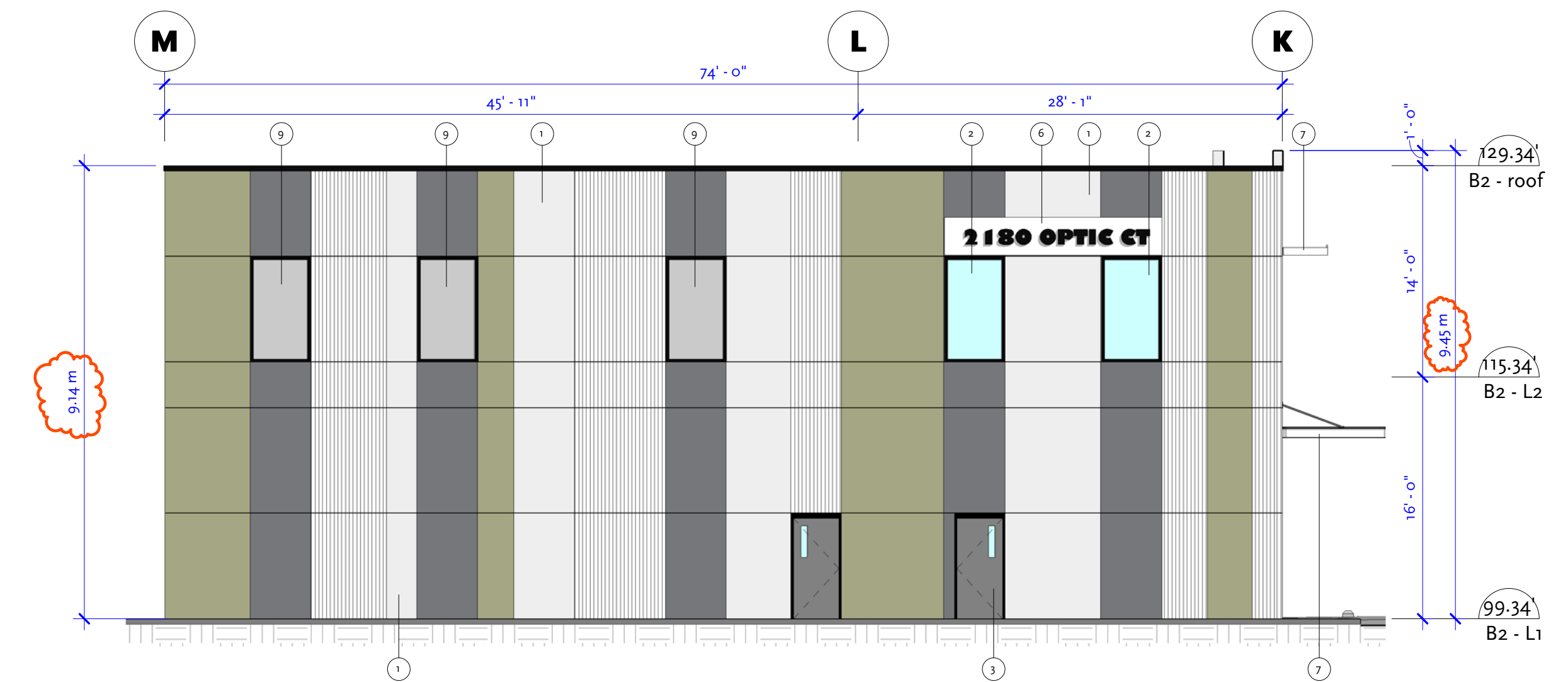
1 B2 - north elevation
A3.2 SCALE 1/8" = 1'-0"



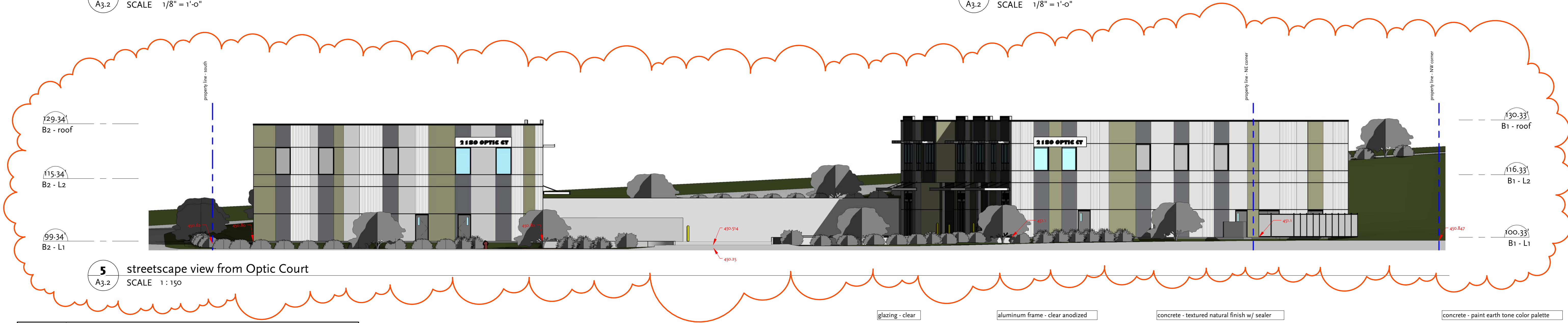
3 B2 - east elevation
A3.2 SCALE 1/8" = 1'-0"



2 B2 - south elevation
A3.2 SCALE 1/8" = 1'-0"

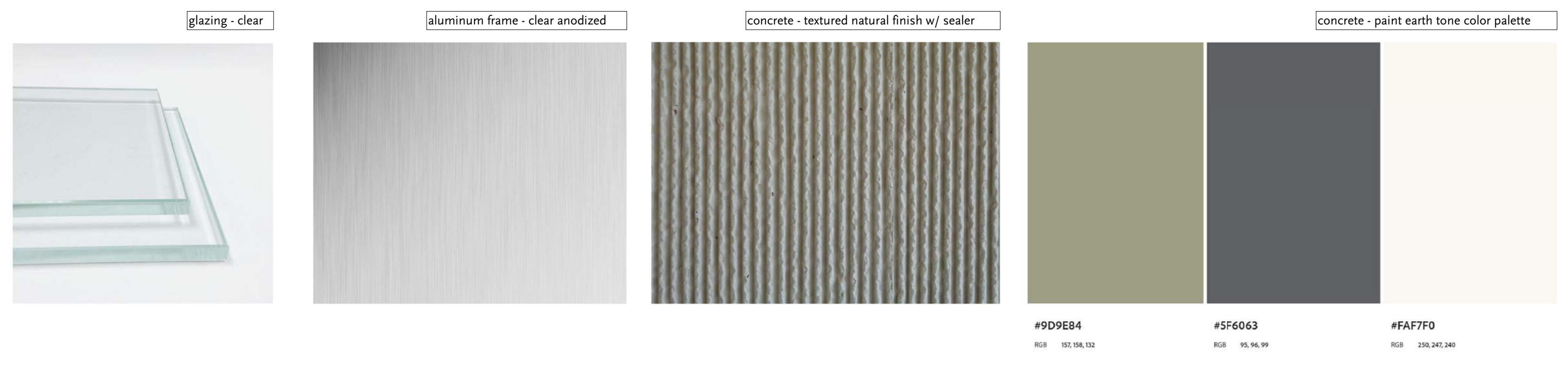


4 B2 - west elevation
A3.2 SCALE 1/8" = 1'-0"



5 streetscape view from Optic Court
A3.2 SCALE 1 : 150

TAG	MATERIAL
1	precast concrete panel (texture and colour as per elevations)
2	prefinished aluminum window (low E, clear glazing)
3	exterior metal door (painted)
4	prefinished aluminum storefront glazing (low E, clear glazing) c/w door
5	overhead door (painted)
6	building signage
7	metal canopy/ metal sunshade
8	chain link fence
9	spandrel panel (colour TBD)



2180 OPTIC COURT

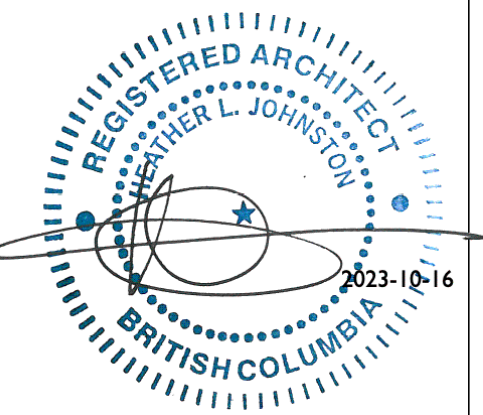
2180 Optic Court
Kelowna, BC
Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-137

PROJECT # 2139

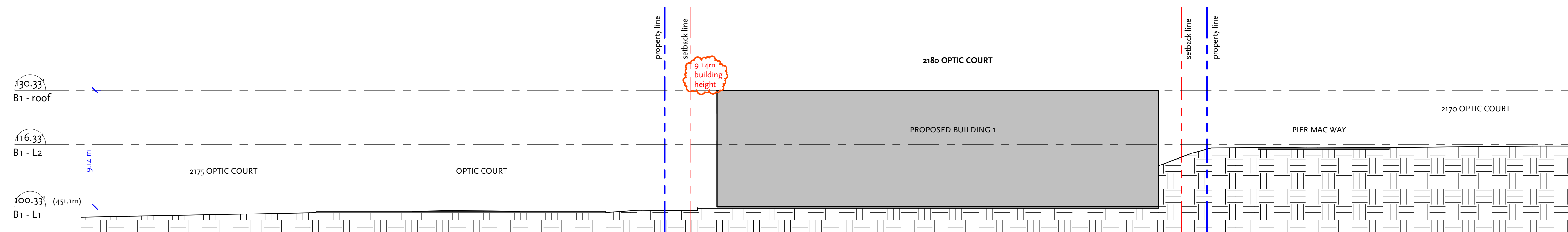
no.	date	issue
01	27 July 2023	development permit
02	6 Oct 2023	permit comment response

building 2 elevations

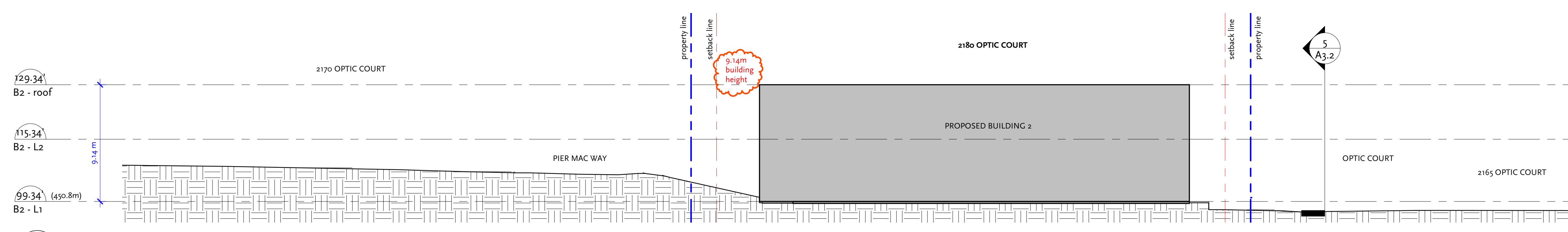
heather l. johnston
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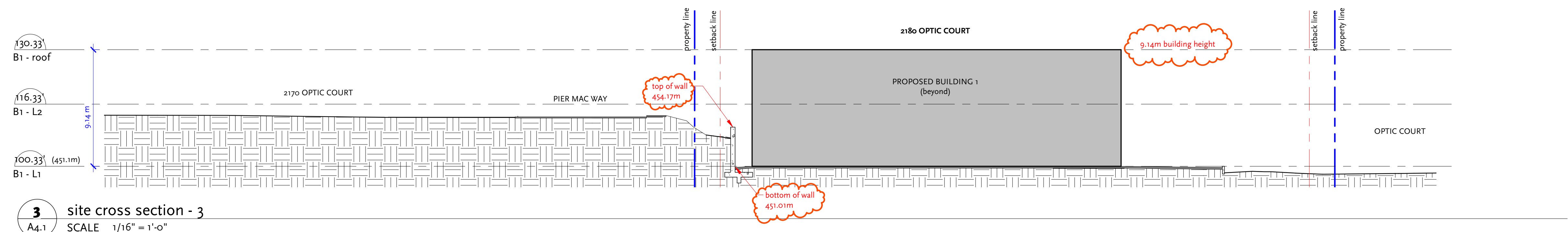
A3.2
6 oct 2023



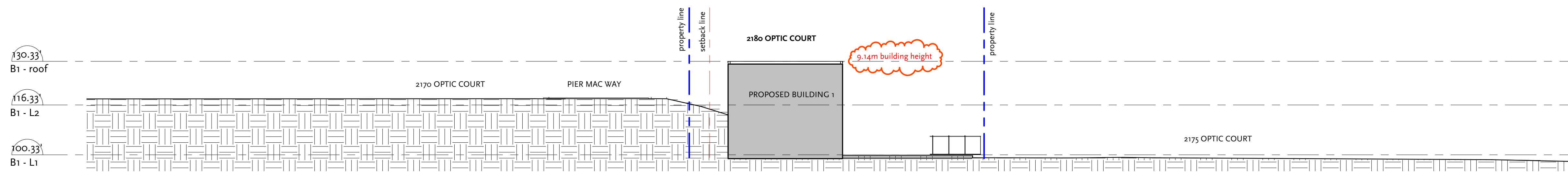
1 site cross section - 1
A4.1 SCALE 1/16" = 1'-0"



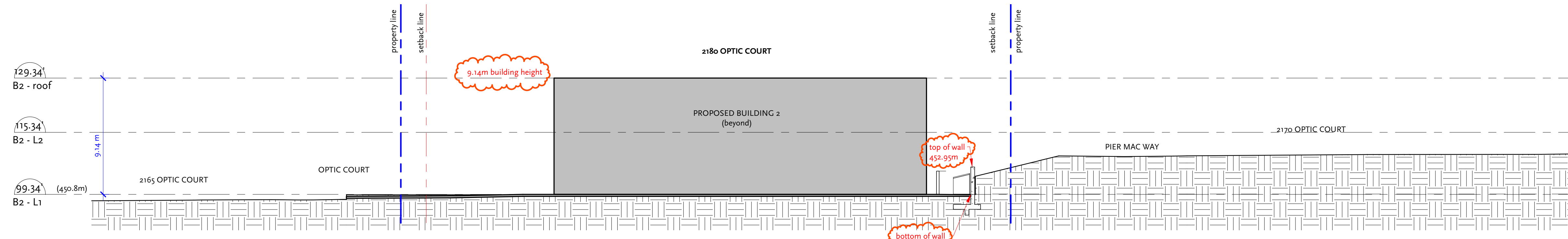
2 site cross section - 2
A4.1 SCALE 1/16" = 1'-0"



3 site cross section - 3
A4.1 SCALE 1/16" = 1'-0"



4 site cross section - 4
A4.1 SCALE 1" = 20'-0"



5 site cross section - 5
A4.1 SCALE 1/16" = 1'-0"



2180 OPTIC COURT

2180 Optic Court
Kelowna, BC

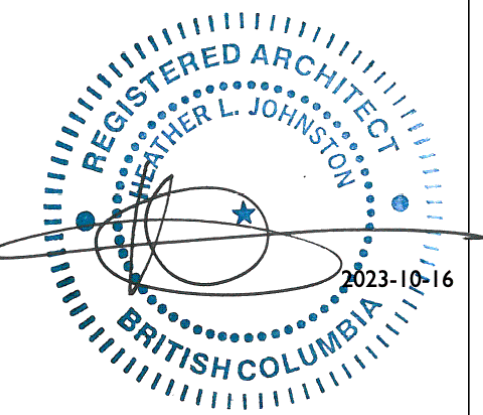
Lot 13 Plan EPP64961 Section 14 Township 23 Land District 41
030-104-137

PROJECT # 2139

no.	date	issue
01	27 July 2023	development permit
02	6 Oct 2023	permit comment response

sections

heather l. johnston
architect AIBC, AAA, MAA, SAA
PLACE architect ltd.
6262 st georges avenue
west vancouver bc, v7w 1z7
778 386 6769
www.placearchitects.com



LEGAL DESCRIPTION:

Lot 13 Plan EPP64461 Section 14 Township 23 Land District 41
 O3O-104-157
 CD15 - Airport Business Park

LANDSCAPE AREA CALCULATION:

TOTAL SITE AREA: 3498.3 M2
 LANDSCAPED AREA ON SITE: 1447.18 M2 (37%)
 LANDSCAPED AREA OFF SITE (BOULEVARDS): 516.7 M2

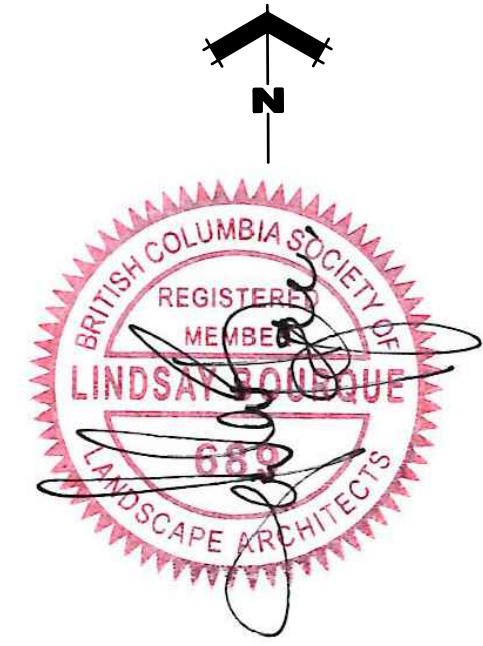
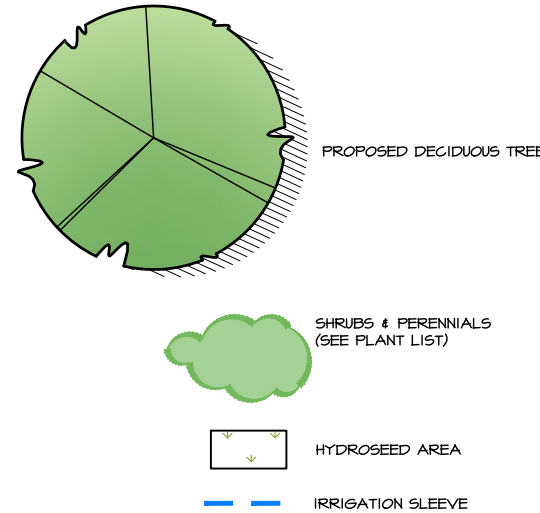


PROPOSED PROJECT AREA

GENERAL NOTES:

1. ALL LANDSCAPING TO CONFORM TO THE LATEST EDITION OF THE 'CANADIAN LANDSCAPE STANDARD' UNLESS OTHERWISE NOTED HEREIN.
2. ALL LANDSCAPE PLANTINGS SHALL HAVE UNDERGROUND IRRIGATION INSTALLED, UNLESS NOTED. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING SHOP DRAWINGS FOR IRRIGATION SYSTEM DESIGN. REFER TO SPECIFICATIONS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. THE CONTRACTOR TO LOCATE AND MARK ALL UNDERGROUND SERVICES THAT MAY BE AFFECTED BY THE WORK AND REPAIR ALL DAMAGES TO EXISTING CONDITION.
4. LANDSCAPE GRADING SHALL CONFORM TO THE SITE GRADING AND DRAINAGE PLAN PREPARED BY OTHERS, UNLESS OTHERWISE DETERMINED ON SITE BY THE ARCHITECT AND/OR ENGINEER.
5. THIS PLAN IS PREPARED FOR PERMIT APPLICATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION UNLESS APPROVED IN WRITING BY LIMINAL DESIGN.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO ANY LANDSCAPE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THEY HAVE THE COMPLETE AND MOST RECENT LANDSCAPE DOCUMENTS. THE DOCUMENTS SHALL BE COMPLETE, CURRENT AND PRINTED TO SCALE.
7. ANY NATURAL LANDSCAPING THAT IS DISTURBED BY CONSTRUCTION MUST BE RESEEDED WITH DRYLAND GRASS SPECIES FOR RESTORATION TO EXISTING CONDITIONS.

LEGEND:



05. RE-ISSUED FOR DP	11/26/23
04. RE-ISSUED FOR DP	09/20/23
03. RE-ISSUED FOR DP	07/17/23
02. ISSUED FOR DP	06/13/23
01. ISSUED FOR REVIEW	10/24/22
NO. REVISION	MMDDYY

CONSULTANTS	

PROJECT TITLE	INDUSTRIAL BUILDING 2180 Optic Court Kelowna, BC
CLIENT	PLACE ARCHITECTS

SHEET TITLE	OVERALL LANDSCAPE PLAN
-------------	------------------------

DRAWN BY	LAB	DRAWING NO.	L-1
SCALE	1:200	DATE DRAWN	11/26/23
REPRODUCED/PLOTTED			

LEGAL DESCRIPTION:

Lot 13 Plan EPP64461 Section 14 Township 23 Land District 41
 O30-104-157
 CD15 - Airport Business Park

LANDSCAPE AREA CALCULATION:

TOTAL SITE AREA: 3498.3 M2
 LANDSCAPED AREA ON SITE: 1,447.18 M2 (37%)

PLANTING NOTES:

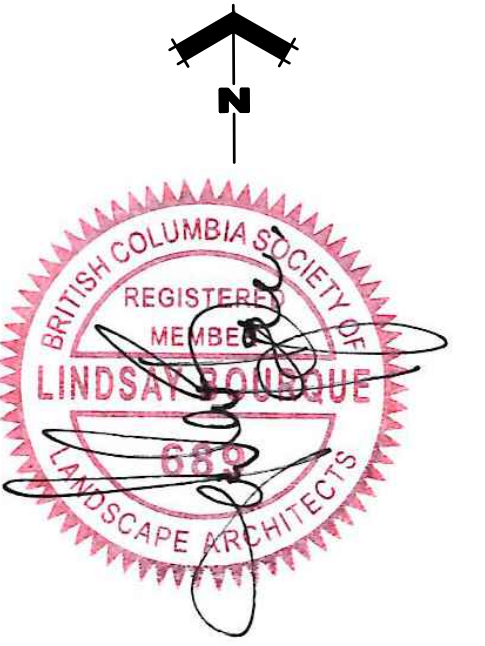
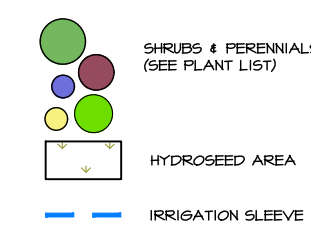
1. PLANT MATERIAL SPECIFIED FOR INDIVIDUAL UNITS IS SUBJECT TO CHANGES RESULTING FROM CHANGES TO BUILDING PLANS, LAYOUT, AND SITING. SPECIFIC PLAN CHOICES FOR EACH UNIT MUST BE CONFIRMED IN THE FIELD BY THE ARCHITECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND LOCATING ALL PLANT MATERIAL ON SITE PRIOR TO PLANTING AND HAVE EACH LAYOUT APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. MATERIALS SUBSTITUTIONS WILL ONLY BE CONSIDERED AFTER A WRITTEN LIST IS SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN ADVANCE, AT LEAST 24 HOURS PRIOR TO REQUESTING AN ON-SITE FIELD REVIEW OF THE WORK.
5. ALL PLANTING BEDS COME COMPLETE WITH PLANTING SOIL, LANDSCAPE EDGING, AND DECORATIVE ROCK MULCH ON LANDSCAPE FABRIC.

PLANT SCHEDULE (ON-SITE)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	NOTES
SHRUBS					
03	Ea	<i>Euonymus alatus</i> 'Fire Ball'	Fire Ball Burning Bush	#2 pot/as shown	
06	Pm	<i>Pinus Mugo</i> 'Mughus'	Compact Mugo Pine	#5 pot/ as shown	
04	Gl	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	#2 pot/1.5M O.C.	
09	Rt	<i>Rhus typhina</i> 'Laciniata'	Cutleaf Sumac	#5 pot/as shown	
ORNAMENTAL GRASSES, PERENNIALS & GROUNDCOVERS					
08	c	<i>Calamagrostis x acutiflora</i> 'Overdam'	Vargigated Reed Grass	#2 pot/1.0M O.C.	
06	s	<i>Perovskia atriplicifolia</i>	Denim 'n Lace' Russian Sage	#2 pot/0.6M O.C.	
14	b	<i>Rudbeckia fulgida</i>	Goldsturm Black-Eyed Susan	#2 pot/0.6M O.C./as shown	

NOTE: Layout of all plant material in the field to be approved by Landscape Architect prior to planting.

LEGEND:



05. RE-ISSUED FOR DP	11/26/23
04. RE-ISSUED FOR DP	09/20/23
03. RE-ISSUED FOR DP	07/17/23
02. ISSUED FOR DP	06/13/23
01. ISSUED FOR REVIEW	10/24/22
NO. REVISION	MMDDYY

CONSULTANTS

PROJECT TITLE

INDUSTRIAL BUILDING
 2180 Optic Court
 Kelowna, BC

CLIENT
 PLACE ARCHITECTS

SHEET TITLE
 LANDSCAPE PLAN (ON-SITE)

DRAWN BY LAB	DRAWING NO. L-2
SCALE 1:200	REPRODUCED/PLOTTED
DATE DRAWN 11/26/23	

LEGAL DESCRIPTION:

Lot 13 Plan EPP64461 Section 14 Township 23 Land District 41
 O3O-104-157
 CD15 - Airport Business Park

LANDSCAPE AREA CALCULATION:

TOTAL SITE AREA: 3498.3 M2
 LANDSCAPED AREA OFF SITE (BOULEVARDS): 516.7 M2

PLANTING NOTES:

1. PLANT MATERIAL SPECIFIED FOR INDIVIDUAL UNITS IS SUBJECT TO CHANGES RESULTING FROM CHANGES TO BUILDING PLANS, LAYOUT, AND SITING. SPECIFIC PLAN CHOICES FOR EACH UNIT MUST BE CONFIRMED IN THE FIELD BY THE ARCHITECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND LOCATING ALL PLANT MATERIAL ON SITE PRIOR TO PLANTING AND HAVE EACH LAYOUT APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. MATERIALS SUBSTITUTIONS WILL ONLY BE CONSIDERED AFTER A WRITTEN LIST IS SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN ADVANCE, AT LEAST 24 HOURS PRIOR TO REQUESTING AN ON-SITE FIELD REVIEW OF THE WORK.
5. ALL PLANTING BEDS COME COMPLETE WITH PLANTING SOIL, LANDSCAPE EDGING, AND DECORATIVE ROCK MULCH ON LANDSCAPE FABRIC.

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	NOTES
TREES					
14	TC	<i>Tilia cordata</i>	Littleleaf Linden	50mm cal/ 10M o.c.	
SHRUBS					
01	Ea	<i>Euonymus alatus</i> 'Fire Ball'	Fire Ball Burning Bush	#2 pot/as shown	
76	Jg	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#2 pot/2.0M O.C.	
01	Pm	<i>Pinus Mugo</i> 'Mughus'	Compact Mugo Pine	#5 pot/as shown	
02	Gl	<i>Rhus aromatica</i> 'Gris-low'	Gro-Low Fragrant Sumac	#2 pot/1.5M O.C.	
ORNAMENTAL GRASSES, PERENNIALS & GROUNDCOVERS					
12	c	<i>Calamagrostis x acutiflora</i> 'Overdam'	Variegated Reed Grass	#2 pot/1.0M O.C.	
19	s	<i>Perovskia atriplicifolia</i>	Denim 'n Lace' Russian Sage	#2 pot/0.6M O.C.	
08	b	<i>Rudbeckia fulgida</i>	Goldsturm Black-Eyed Susan	#2 pot/0.6M O.C./as shown	

NOTE: Layout of all plant material in the field to be approved by Landscape Architect prior to planting.



Plan
 EPP110021



05. RE-ISSUED FOR DP	11/26/23
04. RE-ISSUED FOR DP	09/20/23
03. RE-ISSUED FOR DP	07/17/23
02. ISSUED FOR DP	06/13/23
01. ISSUED FOR REVIEW	10/24/22
NO. REVISION	MMDDYY

CONSULTANTS

PROJECT TITLE

INDUSTRIAL BUILDING
 2180 Optic Court
 Kelowna, BC

CLIENT

PLACE ARCHITECTS

SHEET TITLE

LANDSCAPE PLAN (OFF-SITE)

DRAWN BY

LAB

DRAWING NO.

L-3

SCALE

1:200

DATE DRAWN

11/26/23

REPRODUCED/PLOTTED



NOT FOR CONSTRUCTION

SPECIFICATIONS

GENERAL

- All landscape work undertaken shall conform to the Canadian Landscape Standards, latest edition, unless otherwise specified.
- The Contractor shall be responsible for locating all underground utilities which may be affected by the work and report any possible conflicts to the Architect prior to construction. Any damage to existing utilities or site services must be repaired immediately to the satisfaction of the Architect and the Owner's representative.
- The Contractor shall leave the site in a neat and tidy condition at the end of each working day and at the completion of the contract. The Contractor shall ensure public safety is maintained at all times.
- Materials substitutions will only be considered after a written list is submitted to the Architect prior to installation.
- The Contractor shall notify the Architect, in advance, at least 24 hours prior to requesting an on-site field review of the work.

A. SITE PREPARATION

- Rough/finish subgrade and have rough grading approved by the Architect prior to hauling and spreading topsoil. The Contractor is responsible for all surveys.
- Remove excess rocks, boulders, logs, roots, stumps or other impediments not conducive to landscaping; dispose of these materials at an approved dumping location off-site unless otherwise directed by the Architect. Grade the site to drain away from buildings to comply with the Site Grading Plan or as directed by the Architect.

B. TOPSOIL & FINISH GRADING

- Existing stockpiled or native topsoil shall be screened to remove rocks, weeds, grass and other deleterious material before being accepted for landscaping. Existing topsoil shall be amended with imported topsoil at a ratio of 1:1 and well blended by rototilling or other approved method. Testing existing topsoil will be paid for by the Contractor.
- Imported topsoil shall be good quality, clean, loose well draining planting soil and shall be approved by the Architect prior to installation. The approved topsoil mix shall have the following characteristics:
 - maximum 15% clay content and 30-50% sand content;
 - pH of between 6.0 and 7.0 and a minimum organic content of 10%;
 - Testing of imported topsoil may be requested by the Architect and shall be paid by the Contractor until the required specification is met.
- Topsoil shall be spread over a loose, scarified subgrade to depths as specified:
 - Dryland Grass/Seedbed/seeded areas: 15mm depth minimum;
 - Lawn grass (seeded or turf) areas: 150mm depth minimum;
 - Planting beds (shrub) areas: 450mm depth minimum;

- Finish grade topsoil areas to permit finish landscaping as shown on the drawings. Backfill tree pits with a minimum 300mm of topsoil around all sides of the rootball unless otherwise specified.
- Finish grade by leveling and hand-raking topsoil while removing all roots, stones, logs and other deleterious material to grades and slopes as shown on the drawings or as directed by the Architect. Remove all rocks over 25mm diameter. Grade away from buildings at a minimum of 2% for positive surface drainage. Finish grade topsoil for planting beds 50mm (2") below curbs, sidewalks or planters to permit installation of mulch. Hand rake and finish grade topsoil for grass areas flush with the tops of curbs, sidewalks and planting beds to permit installation of grass seed or turf. Roll topsoil with 50 kg roller and have finish grading approved by the Architect prior to grass seeding, turfing, shrub planting or mulch installation.

C. PLANT MATERIAL

- All plant material shall be healthy, free of disease, pests, showing good growth characteristics and shall be No. 1 grade.
- Plant material shall be guaranteed for a period of one (1) year from date of final acceptance/contract completion.
- All plant material delivered to the site must be individually labeled with botanical and common names and labels left in place until the Architect has inspected and approved planting.
- The Contractor shall supply the necessary planting soil, fertilizers, bonemeal, insecticides and anti-desiccants as required to ensure proper planting procedure. The Contractor shall maintain the plant material until final acceptance of the work and to the satisfaction of the Architect.
- The Contractor shall supply and install tree support according to the planting details.
- Finish all planting beds with 15mm depth of medium grade, clean, F.R. bark mulch or rock mulch on landscape fabric to finished grade as shown or specified on the drawings.
- Provide sample of mulch to Architect for approval prior to installation.
- Avoid installing mulch in areas of groundcover or annual plantings, unless otherwise directed by the Architect.

D. TURFING

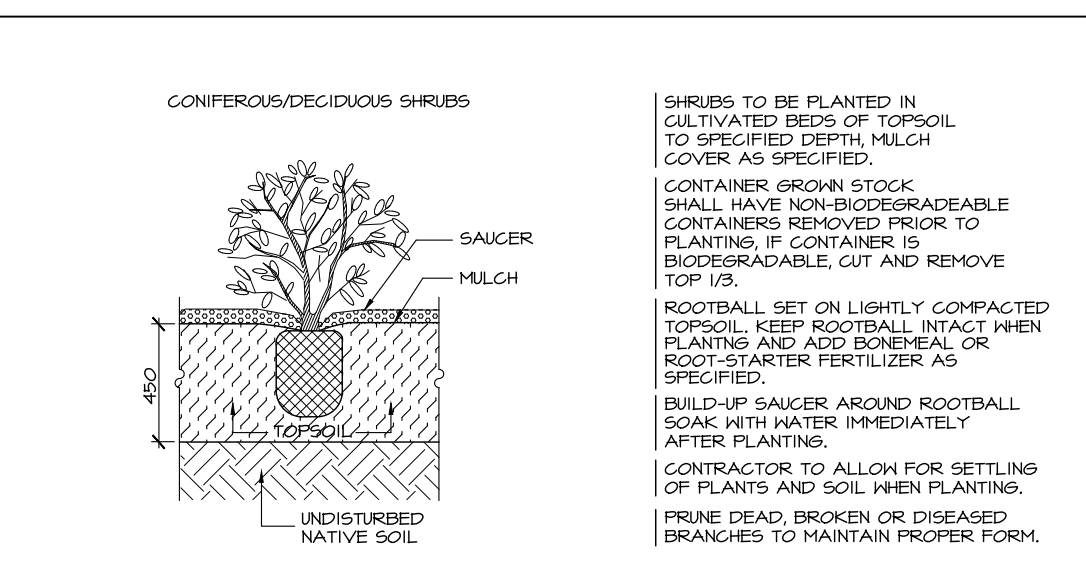
- Gross sod (turf) shall be Canada No. 1 grade, cultured turf, composed of a minimum 50% Kentucky Bluegrass. Turf shall be healthy, free from weeds and disease and shall be installed on a smooth, even grade with tight joints in a running bond (brick laying) pattern. On slopes, install turf perpendicular to the direction of the slope. On steep slopes, secure turf with wooden pegs flush with top of turf.
- Prior to laying turf, fertilize finish soil surface with a 16-32-6 turf-starter fertilizer (or approved equal) at the rate of 4kg/100m². Roll turf lightly to obtain a smooth, uniform surface to be approved by the Architect prior to installation.
- Water turf immediately after installation by underground irrigation or by manual methods, thoroughly soaking the turf and topsoil to a minimum depth of 15mm. Apply water as necessary to prevent drying-out and to ensure healthy turf development.
- Protect new turf areas with appropriate signs, barriers or fencing to reduce damage. Repair all damaged areas immediately to the satisfaction of the Architect; repairs are the Contractor's responsibility until final acceptance.
- Dead or discoloured turf will not be accepted and must be replaced at the direction of the architect.
- Turf areas will only be accepted after:
 - Turfed areas are healthy, rooted and properly established.
 - Turf is free from open joints and dead spots and without weeds.
 - No soil is visible when turf has been cut to 30mm in height.
 - Turf areas have been mowed at least twice.
- During establishment of turf areas, the Contractor is responsible for all landscape maintenance including watering, spot top-dressing, moving fertilizing, turf repair or replacement, top-dressing and overseeding to the satisfaction of the Architect.

E. HYDROSEED

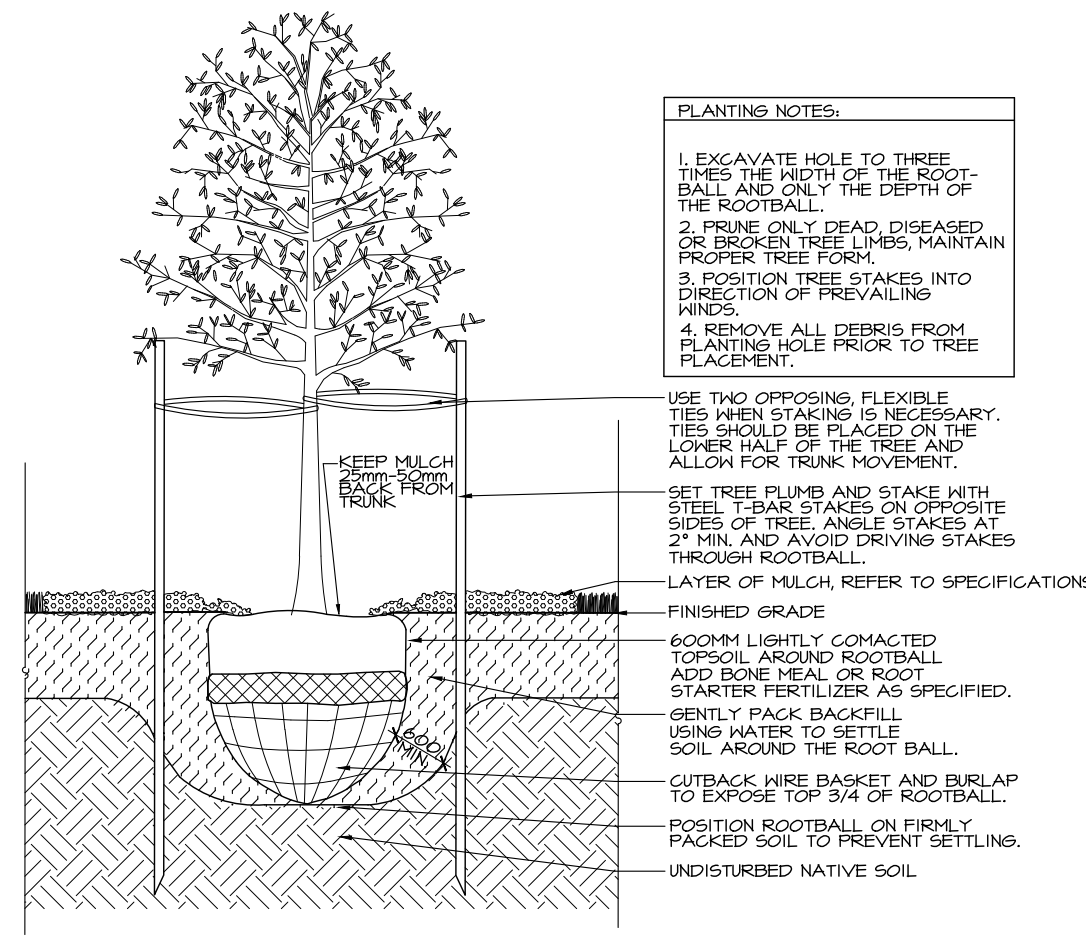
- The Contractor shall be responsible for providing all materials, equipment and labour required for all types of seeding and hydroseeding for all areas shown on the drawings and for all areas disturbed through construction activity which were to remain undisturbed. All work to the satisfaction of the Architect.
- The Contractor shall obtain all seed from a recognized seed company. All seed shall have a minimum 75% germination and 47% purity. All seed must be certified No. 1 grade, delivered to the site in original containers, clearly showing:
 - Name and address of supplier, packager
 - Name and kind of species of seed
 - Name of the grade of seed
 - Varietal name of the seed
 - Lot number
 - Germination percentage
 - Purity analysis of seed mixture
 - Year of production
 - Net weight (mass)
- Fertilize soil with slow release 16-32-6 or approved equal to 30kg/100m² prior to seeding and top fertilizer into the top 50mm (2") of topsoil. Lawn grass areas shall be drilled seeded unless specified as turf.
- Hydroseeding mulch shall be a wood or wood cellulose fibre, free from growth inhibiting ingredients and forming a blatter-like ground cover allowing absorption and percolation of water. Apply mulch at a rate of 16.0kg of air dry fibre/100m². Tackifier binder to be used on slopes in excess of 3:1, applied at the manufacturer's recommended rate of application.
- Where seeding will be covered by erosion control mats, seed may be spread using mechanical dry seeding method over prepared topsoil by calibrated machine or approved equal.
- Dryland Grass Seed Mix (Application Rate: 40kg/1000m²) 40% crested wheat grass, 25% tall wheat grass, 20% slender wheat grass and 15% hard fescue, or approved equal. Available from:
Premier Pacific Seeds Ltd.
4203, 8315 - 46th Ave.
Surrey, BC V4N 4C4
- Irrigate or manually water newly seeded areas to ensure proper germination/overseed bare areas as required to ensure adequate catch by the satisfaction of the Architect. Grasses shall be established to 100% coverage in sufficient density that no surface soil/matting be visible.
- Seeded or hydroseeded areas shall be guaranteed by the Contractor for a period of one (1) year from date of installation. Areas showing poor growth characteristics after the guarantee period may require re-seeding as directed by the Architect. These areas shall be re-seeded by the Contractor until a suitable catch is obtained.

F. LANDSCAPE MAINTENANCE

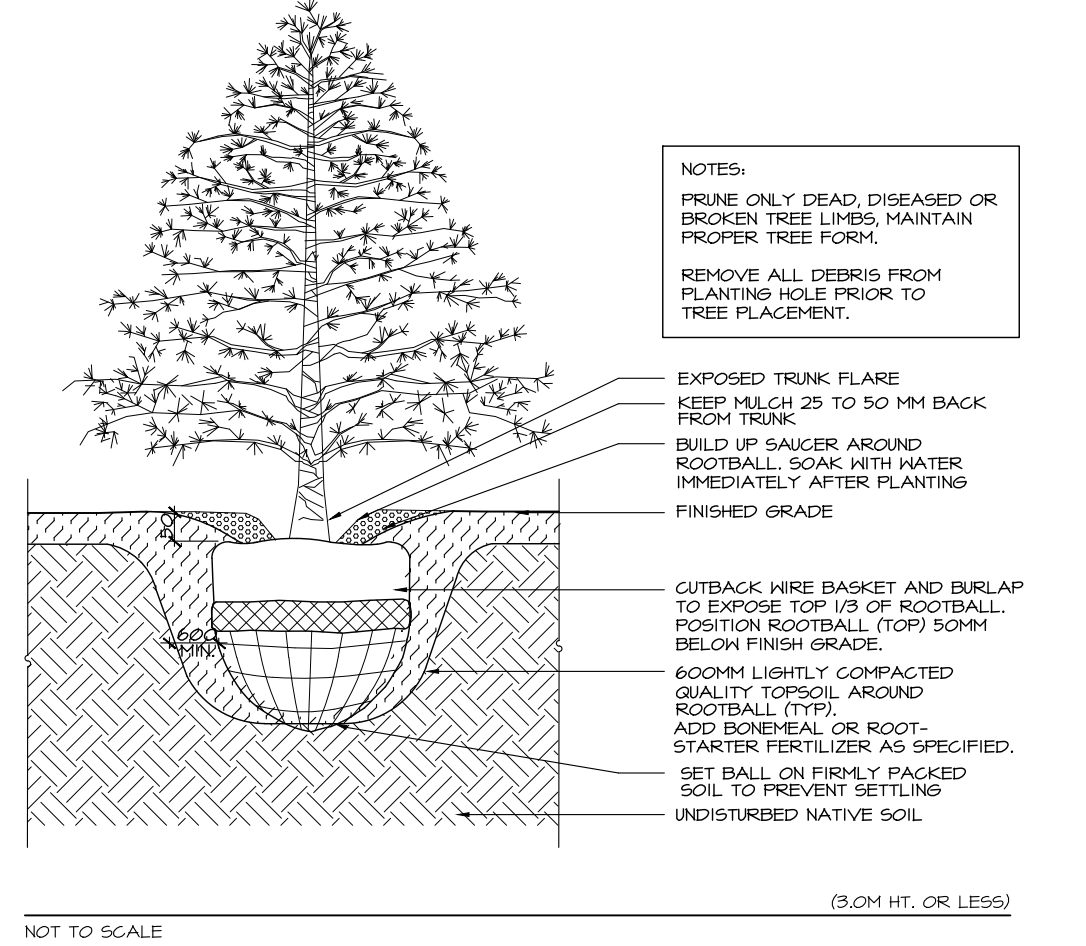
- The Contractor shall be responsible for providing all materials, equipment and labour required for the purpose of maintaining all new and existing landscaping during the course of the contract.
- Maintenance of the landscaping by the Contractor shall include, but not limited to, the following:
 - The cutting of lawn areas to 30mm (1 1/2") height and at no time allowing the grass to exceed a height of 100mm (4"). All grass clippings shall be removed from the site.
 - Top dressing, fertilizing and weed control of all grass areas and planting areas to good horticultural practice.
 - Pruning and the control of insects and diseases, for all plant material to good horticultural practice.
 - Operation and adjustment of the underground sprinkler system and/or manual watering such that all landscaped areas are watered adequately.
 - The nursing and protection of all seeded, hydroseeded, sodded or planted areas, as required to ensure adequate "catch" and growth of the plantings.
 - The cleanup and removal of garbage so that the site is left in a neat and tidy condition each day.
 - Top-dressing of mulch to maintain the specified depth of cover.
- All landscape maintenance procedures shall be to a high standard and shall be done to the satisfaction of the Architect.



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

TYPICAL PLANTING DETAILS

IRRIGATION SPECIFICATIONS

GENERAL

- All irrigation work shall conform to the latest edition of the Irrigation Industry Association of British Columbia, Standards for Landscape Irrigation Systems, unless otherwise specified herein.
- The Contractor shall schedule installation of the underground sprinkler system in conjunction with the installation of landscape work in the contract. During the contract, the Contractor shall have a qualified foreman, well versed in all aspects of irrigation work, continuously on the job.
- The Contractor shall be responsible for locating all underground services which may affect the work and immediately repair any damage to the satisfaction of the Owner's Representative at no cost to the Owner.
- The Contractor is responsible for obtaining all necessary permits for electrical and plumbing connections as may be required. The Contractor shall be responsible for obtaining CSA approvals on parts or equipment if this is not provided by others.
- The Contractor shall provide design and all the components of the irrigation system as specified on the approved shop drawings. Substitutions for alternative parts will only be considered if the Contractor submits a list of proposed equals to the Owner's Representative, in writing prior to beginning work. Approval for design and/or rejection of substitutions will be provided to the Contractor in writing by the Owner's representative.
- The Contractor shall guarantee the installation and operation of the irrigation system for a period of one (1) year from the date of final acceptance of the contract. This guarantee shall not override a manufacturer's guarantee on parts if it is for a longer period of time.

- The Contractor shall be responsible for winterizing the system in the fall and starting the system the following spring as part of this contract.
- The Contractor shall provide the Owner's Representative with an As-Built reproducible original drawing (equal in scale of the design drawing) of the completed system before final acceptance to the satisfaction of the Owner's Representative. The Contractor shall provide the Operations Manual for the controller(s) and any other information necessary for the regular operation or maintenance of the irrigation system.

A. PIPE AND FITTINGS

- Irrigation main line pipe must be Sch. 40 PVC. Lateral lines 30mm (1 1/2") diameter and smaller shall be minimum Class 200 PVC. Landscape Irrigation Systems, unless otherwise specified herein. All pipe shall be marked with manufacturer's name, material and pressure rating.
- Irrigation fittings shall be minimum Schedule 40 PVC molded fittings.
- Pipe for drip emitter zones or microjets shall be 100 psi. E.H.S. polyethylene irrigation tubing installed with stainless steel clamps as approved by the Owner's Representative. Completely flush entire piping system before installing emitters or microjets.
- Irrigation pipe shall be laid in straight lines wherever possible, minimizing bends to prevent stress and pipe cracking. Pipe layout will be at the discretion of the Owner's Representative.
- Pipe shall be buried a minimum of 400mm (16") below finished grade and trenches must be backfilled with sand or approved non-abrasive material. Stones over 15mm diameter must be removed from trenches and shall not be used as backfill.

B. VALVES AND WIRES

- Wire burial shall conform to the B.C. Electrical Code and local regulations. Valve wires shall be installed in the trench wherever possible.
- Control wires from automatic valves to controller shall be direct burial type TW-40 minimum 14 gauge. The common neutral wire shall be white. Wire sizing for proper operation of the irrigation valves shall be the responsibility of the Contractor.
- All manual and remote control valves, double check/backflow preventers, pressure reducing valves, water meters, filters, drain valves and blow-out connections must be installed in valve boxes flush with the finished grade, unless otherwise noted on the plan. Lockable plastic valve boxes must be approved by the Owner's Representative prior to installation.
- All double check valves/backflow preventers, pressure reducing valves and manual gate valves shall be bronze construction ("Natts") or approved equal to conform to the local plumbing code.

C. SPRINKLERS

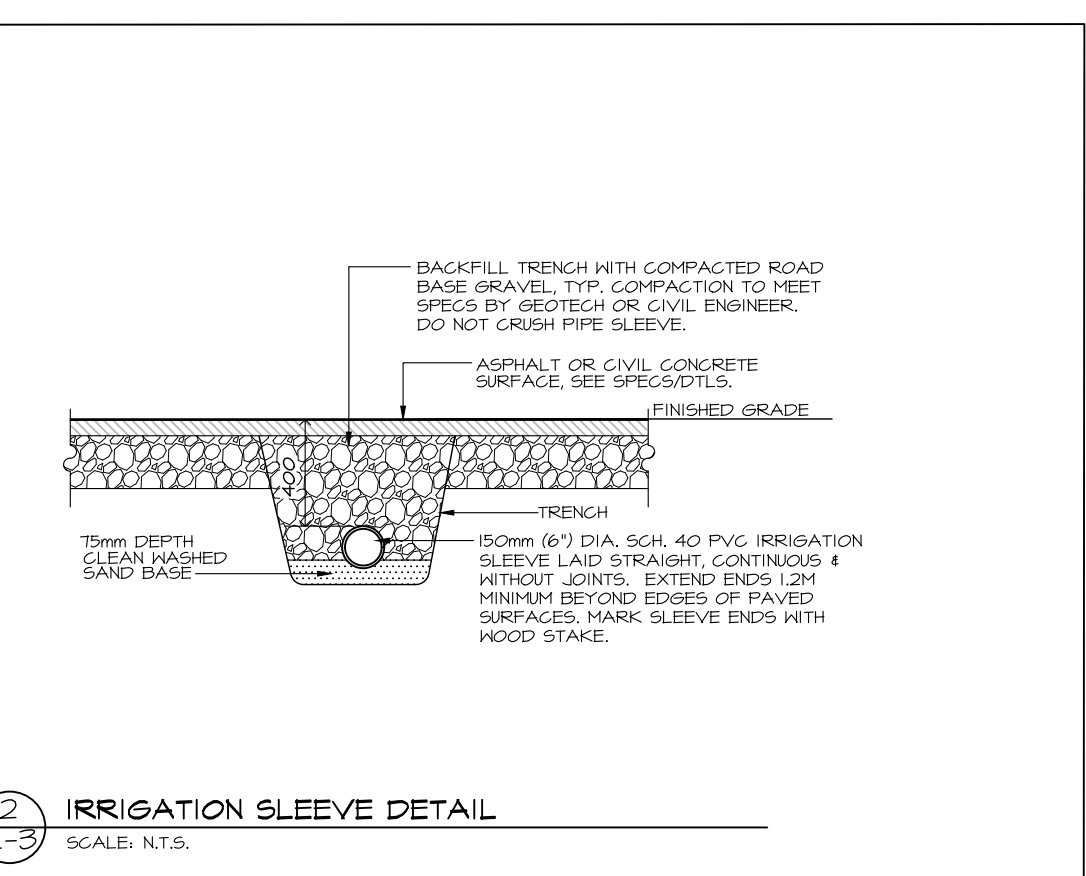
- Pop-up sprinklers shall be mounted on triple swing joints equal in size to the inlet diameter of the sprinkler assembly. Sprinkler heads shall be set flush with finish grade and adjusted by the Contractor for maximum efficiency and minimum overspray.
- Spray sprinklers on risers shall be installed on swing joints and shall be set plumb, approximately 300mm (12") above finished grade unless otherwise directed by the Owner's Representative. Risers shall be minimum Schedule 40 PVC. All spray sprinklers must include a filter screen.
- Drip emitters shall be pressure compensating, self-flushing, with a discharge of 2.0 GPH. Set emitters slightly above finished grade for visual confirmation of operation and ease of maintenance, unless noted otherwise on the plans.
- Microjets shall be installed on poly riser extensions set 150mm (6") above finished grade. The location, layout and spray pattern of microjet heads shall be as noted on the plans or as approved by the Owner's Representative on site. The Contractor shall be responsible for providing full head to head coverage as directed.
- All drip emitter zones and microjet zones shall include a 3/4" diameter y-strainer filter, 3/4" diameter pressure regulation valve and 3/4" diameter isolation valve in a valve box with the zone control valve.

D. CONTROLLER

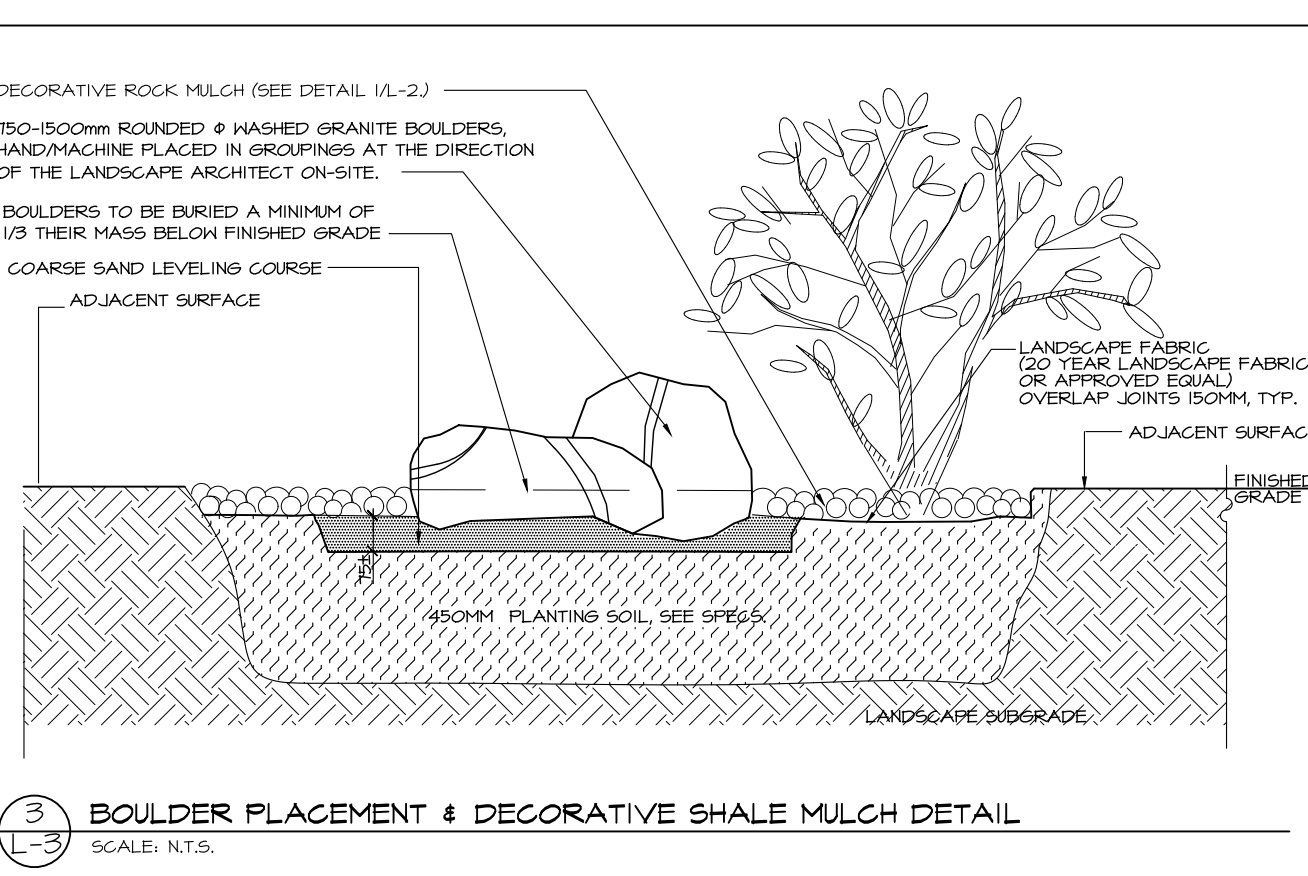
- Mount irrigation controller(s) in location as shown on the drawings, or as directed by the Owner's Representative. Use an approved fastening method when connecting to a building wall, either interior or exterior. Any damage to the building wall or interior fixtures must be repaired immediately at the expense of the Contractor to the satisfaction of the Owner's Representative.
- The controller shall be hard-wired directly into the nearest suitable electrical service panel or electrical outlet in accordance with the B.C. Electrical Code requirements, and to the satisfaction of the Owner's Representative. The Contractor shall obtain all necessary permits, inspections and approvals from the local approving authority.
- Interior Building Installation: mount the controller in a location as shown on the drawings and as approved by the Owner's Representative prior to installation.
- Exterior Building Installation: mount the controller in a vandal proof, weatherproof, lockable, 3.2mm (1/8") steel box, of a suitable size for the irrigation controller. Finish the box with a minimum of 2 coats of non-reflective paint to match building colour or as directed by the Owner's Representative.

Controller cont.

- Exterior Remote Location: mount the controller in a vandal proof, weatherproof, lockable, painted pedestal cabinet or 3.2mm (1/8") steel box at a location as shown on the drawings. The Contractor shall provide a reinforced concrete pad on which to mount the controller, including suitable sized electrical conduits located through the pad for control wires.
- The Contractor shall prepare and submit shop drawings of any exterior controller installation, including the details of sizes, materials and construction methods for the weatherproof box to house the controller. Shop drawings must be approved by the Owner's Representative prior to construction or installation.
- Connect valve wires to controller and provide approved electrical conduit fastened to the building wall to a minimum 450mm (18") below finished grade unless otherwise directed by the Owner's Representative.



SCALE: N.T.S.



SCALE: N.T.S.

05. RE-ISSUED FOR DP	11/26/23
04. RE-ISSUED FOR DP	09/20/23
03. RE-ISSUED FOR DP	07/17/23
02. ISSUED FOR DP	06/13/23
01. ISSUED FOR REVIEW	10/24/22
NO. REVISION	MMDDYY

CONSULTANTS	

PROJECT TITLE	
INDUSTRIAL BUILDING 2180 Optic Court Kelowna, BC	
CLIENT	
PLACE ARCHITECTS	
SHEET TITLE	
DETAILS AND SPECIFICATIONS	
DRAWN BY	DRAWING NO.
LAB	L-4
SCALE	
DATE DRAWN	REPRODUCED/PLOTTED
11/26/23	

NOT FOR CONSTRUCTION